

Memo

To: Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: PETITION FROM CEREBRAL PALSY, INC. – SITE PLAN AND DESIGN REVIEW ON PARCEL AL-1149-906, LOCATED AT 2801 S WEBSTER AVENUE

Date: 22 February 2017

Attached are the proposed plans submitted by the Cerebral Palsy Center, Inc. for the site plan and design review of the proposed remodel and expansion of the CP Center at 2801 S. Webster Avenue (see attachments 1A, 1B). A representative from Sommerville will be present at the meeting to talk about the project and answer any questions.

Site Plan and Design Review Process

The site plan and design review process is an opportunity for the Village Board and the plan commission members to review and to ensure the plans meet village standards in regards to safety, efficiency, aesthetics, and legal concerns in a public forum. The village cannot consider the use of the parcel as part of the decision in this process, only review if the proposed development meets all site plan and design standards for this zoning district.

The proposed project is for parcels AL-1149-906, AL-1149-337, AL-1149-338, located at 2801 S. Webster Avenue. This parcel is zoned “C” Professional Office and Residence District” and the proposed use is allowed under this zoning classification. The plan commission is asked to review the CP Center remodel and expansion proposal and determine if the proposed project meets the zoning and design requirements required by the zoning code for this proposed use.

Staff Comments and Recommendation

Staff has reviewed the proposed plans and has provided the Cerebral Palsy Center, Inc. with comments (see attachments 2A, 2B, 2C, 2D).

Staff recommends the plan commission recommend approval of the petition by the Village Board, should all comments be addressed and necessary permits be filed prior to a final building permit being issued or a reasonable explanation (as determined by staff and the Village Board) as to why these comments were not addressed.

Plan commission is asked to recommend or not to recommend approval of the petition from the Cerebral Palsy Center, Inc., requesting a site plan and design review for a development on parcel AL-1149-906, AL-1149-337, AL-1149-338, located at 2801 S. Webster Avenue.



Cerebral Palsy, Inc.

Project Summary

The purpose of this project is to:

- 1) Construct a 21,500 (approximate) square foot addition to the existing CP Center
- 2) Renovate and reconfigure space in the existing 46,561 square foot CP Center to make space utilization more efficient for the delivery of client services
- 3) Upgrade finishes throughout the facility
- 4) Improve on-site storm water control with the addition of an underground system
- 5) Improve on-site traffic flow by
 - a. Creating more two way drive aisles
 - b. Better designate bus drop off areas for Adult Day services.
 - c. Provide a more clearly defined main entrance.
- 6) Create additional client capacity and a more welcoming environment

Community Impact

The CP Center provides services to more than 2,100 families every year. While our expertise and infrastructure are in place to meet the growing demand for services, our physical space is not. Expanding the facility means the CP Center will gain daily capacity that will have a significant impact on the community, which will help meet the needs of the growing populations in our programs and allow us to service clients, families and the community better.

For more than 60 years people have come to the CP Center because we are proven leaders in developing progressive, individualized solutions for a variety of physical, sensory and communication conditions. Our main focus areas include:

Adult Day Services provides functional skills training to adults with physical and developmental disabilities. Programs encourage each person to maximize their potential and independence.

Therapy Services provides pediatric occupational, physical and speech-language services for children at risk for developmental delays. In addition, this area provides therapy for adults and facilitates our Assistive Communication Technology program.

The Aquatic Center at CP has two warm water pools (averaging 90-92 degrees), and offers classes and individualized instruction that focus on fitness, joint health and being comfortable in the water.



Cerebral Palsy, Inc.

Common Paths Early Education & Care is our NAEYC accredited, inclusive childcare for children with and without special needs, ages six weeks to seven years.

The new addition will increase programming and the number of people that can be served. The project includes space for a sensory integration and a motor gym for Therapy Services, flexible program space in Adult Day Services, an additional classroom for Common Paths Early Education & Care and two family-friendly locker areas near the Aquatic Center at CP.

The CP Center provides services throughout Northeast Wisconsin and has a collaborative relationship with the hospital and medical community, as well as with organizations like Options for Independent Living, ASPIRO and Curative Connections. Its footprint has expanded in recent years to include additional centers by the Lakeshore in Two Rivers and the Fox Cities in Kimberly for the Adult Day Service program.

Localized Impact

Traffic:

Although this expansion will provide for client growth we do not anticipate a large traffic increase to surrounding areas. This is due to a majority of our clients (which utilize the Adult Day services) coming to our facility via bus. The aquatics area which has the most personal vehicle traffic is not growing in size.

Tax Base:

Although CP remains a tax exempt organization this expansion will provide opportunity for additional staff.



EXTERIOR RENDERING

design
matters.

somerville
architects engineers
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Revisions	Description	Date

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date:
02/10/17
Project No.
6450
Sheet
RND1

CONTRACTOR INFORMATION:

KELLER, INC.
N216 HWY 55
KAUKAUNA, WI 54130

920-766-5798

OWNER INFORMATION:

CEREBRAL PALSY, INC.
2801 WEBSTER AVENUE
GREEN BAY, WI 54301

920-337-1122

CONTACT: JON SYNDERGAARD

LEGEND

- POWER POLE
- POWER POLE W/ GUY WIRE
- LIGHT POLE
- LIGHT POLE WITH MAST
- ELECTRIC METER
- TELEPHONE PEDESTAL
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- FLAGPOLE
- UTILITY PULL BOX
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- CULVERT
- CONCRETE
- HANDICAP PARKING
- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- POST
- IRON PIPE/ROD
- PK NAIL

- SSS SANITARY SEWER (SIZE NOTED)
- 4FM FORCEMAIN (SIZE NOTED)
- 10ST STORM SEWER (SIZE NOTED)
- SW WATERMAIN (SIZE NOTED)
- G GAS LINE
- OT OVERHEAD TELEPHONE LINE
- UT UNDERGROUND TELEPHONE LINE
- OE OVERHEAD ELECTRIC LINE
- UE UNDERGROUND ELECTRIC LINE
- OTV OVERHEAD CABLE TV LINE
- TV CABLE TV LINE
- F FIBER OPTIC LINE
- RW RW LINE
- PL PROPERTY LINE
- E EASEMENT LINE
- BS BUILDING SETBACK LINE
- SL SECTION LINE

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- FENCE

UTILITY INFORMATION:

UTILITIES NOTIFIED:
VILLAGE OF ALLOUEZ DEPARTMENT OF PUBLIC WORKS,
WISCONSIN PUBLIC SERVICE CORP., AT & T, TIME WARNER
CABLE AND WISCONSIN DEPARTMENT OF TRANSPORTATION.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGERS' HOTLINE TICKET NUMBERS #20164711372, 20164711373,
20164711393, 20164711396, 20164711405 & 20164714408,
(11-29-2016) AND VISIBLE OBSERVATION (12-5-2016). UTILITY LINE
LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS
SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS
MAP.

DIGGERS' HOTLINE = 1-800-242-8511

MUNICIPALITY:
VILLAGE OF ALLOUEZ
DEPARTMENT OF
PUBLIC WORKS
1900 LIBAL STREET
GREEN BAY, WI 54301
(920)448-2800

GAS & ELECTRIC
WISCONSIN PUBLIC SERVICE CORP.
600 NORTH ADAMS ST.
P.O. BOX 19002
GREEN BAY, WI 54307
(920)433-1373

TELECOMMUNICATIONS:
AT&T
205 S. JEFFERSON ST
GREEN BAY, WI 54301
(920)433-4226

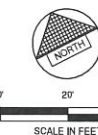
TELECOMMUNICATIONS:
TIME WARNER CABLE
3620 E. DESTINATION DR.
APPLETON, WI 54915
(920)749-1400

WISCONSIN DEPARTMENT OF
TRANSPORTATION
944 VAN DER PERREN WAY
GREEN BAY, WI 54304
(920)492-5623

DIGGERS' HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.



design
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somerville



architects
Somerville, Inc. 11000 Bluebird Drive, Green Bay, WI 54301-2900
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Revisions	Description	Date

OVERALL EXISTING SITE CONDITIONS

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date:
01/2017
Project No.
6450
Sheet:
C101

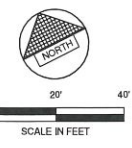
PRELIMINARY

Revisions	Description	Date

SITE PLAN

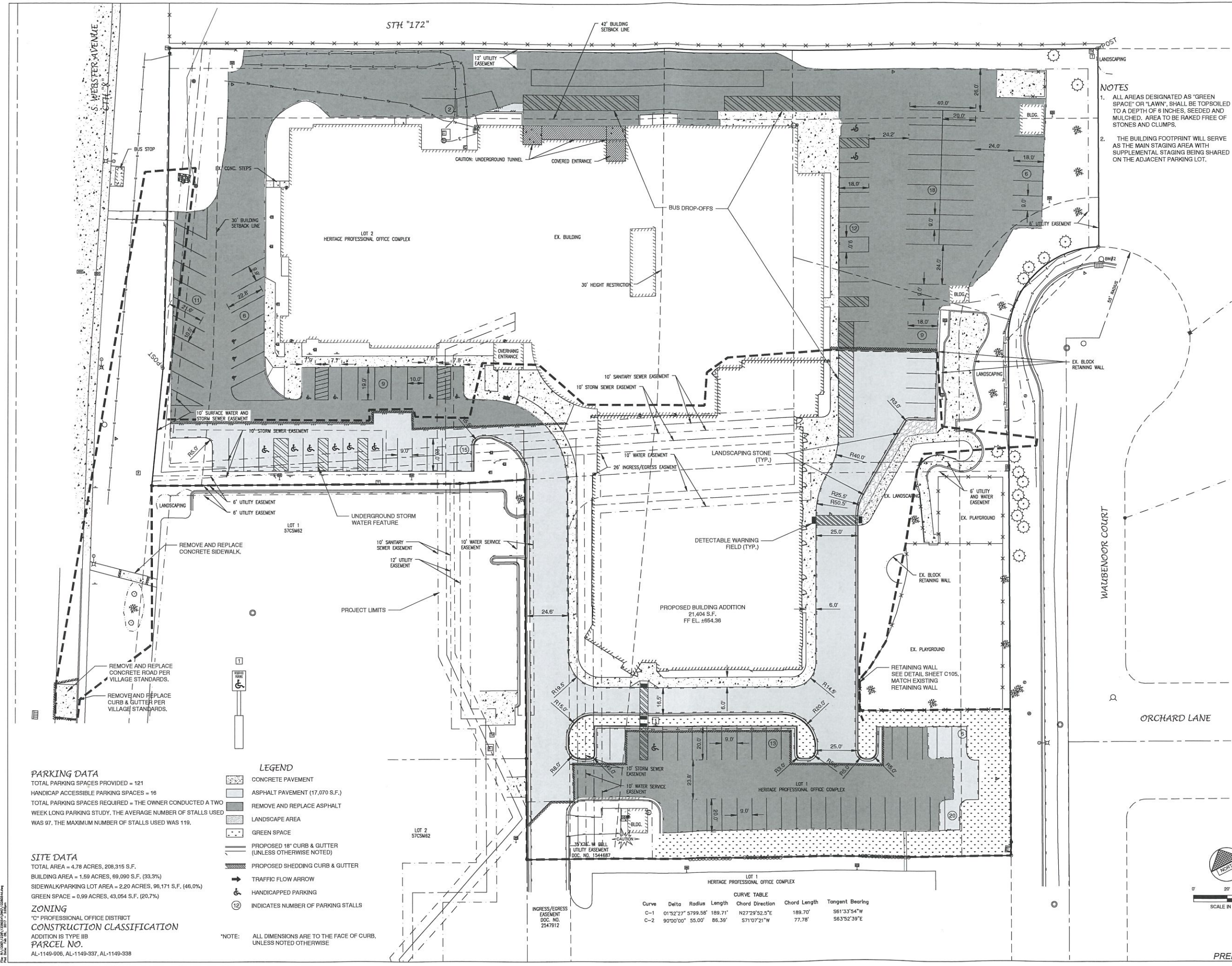
PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date: 01/2017
Project No. 6450
Sheet: C103



PRELIMINARY
5/14/2017 12:46:10 PM

- NOTES**
- ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
 - THE BUILDING FOOTPRINT WILL SERVE AS THE MAIN STAGING AREA WITH SUPPLEMENTAL STAGING BEING SHARED ON THE ADJACENT PARKING LOT.



Revisions	Description	Date

UTILITY PLAN

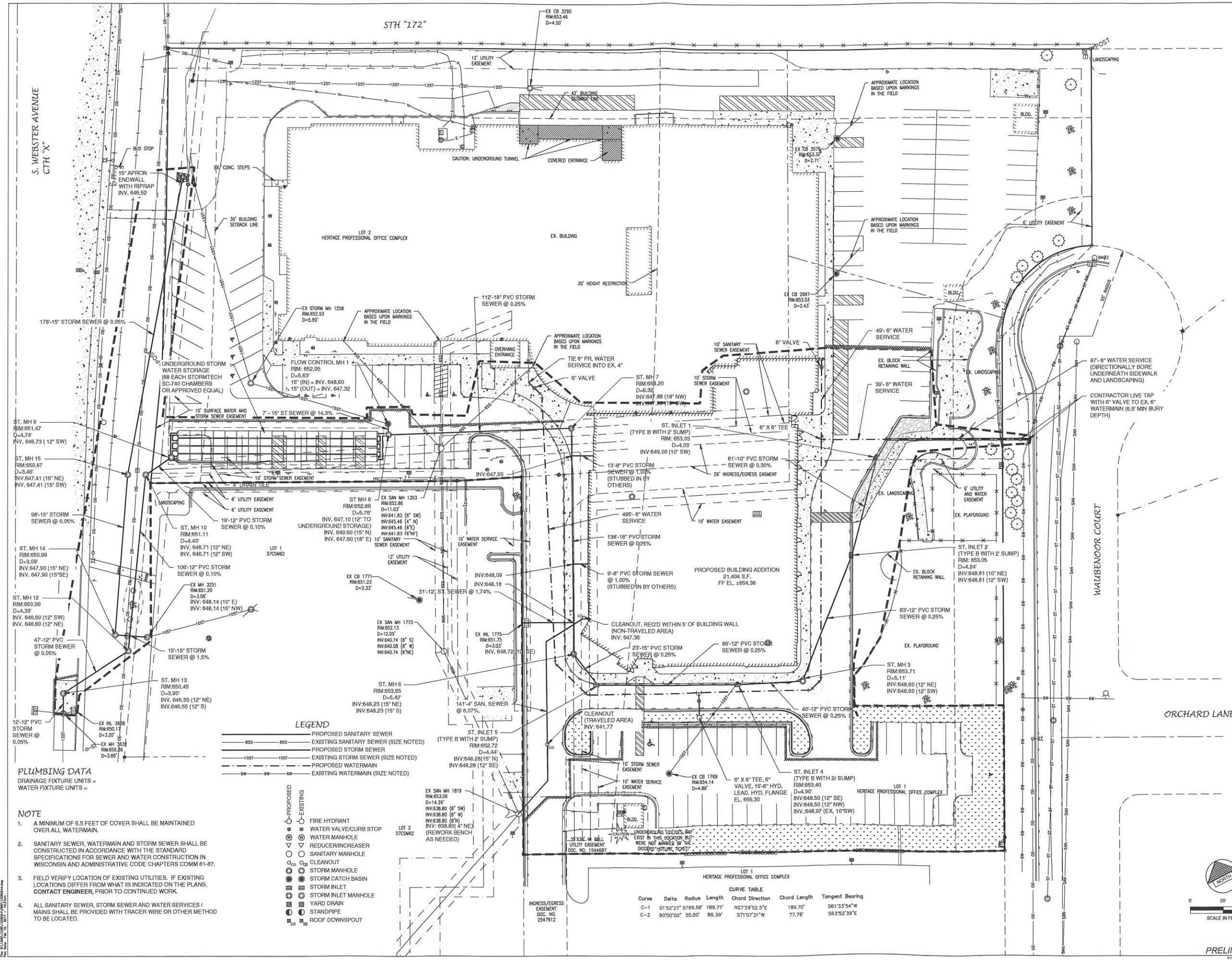
PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date: 01/2017
Project No. 6450
Sheet: C104



SCALE IN FEET
0 20 40

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5/16/2017 12:45:18 PM



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Revisions	Description	Date

SCALE VERIFICATION
1" = 40' FULL SCALE

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GRADING PLAN AND
EROSION CONTROL PLAN

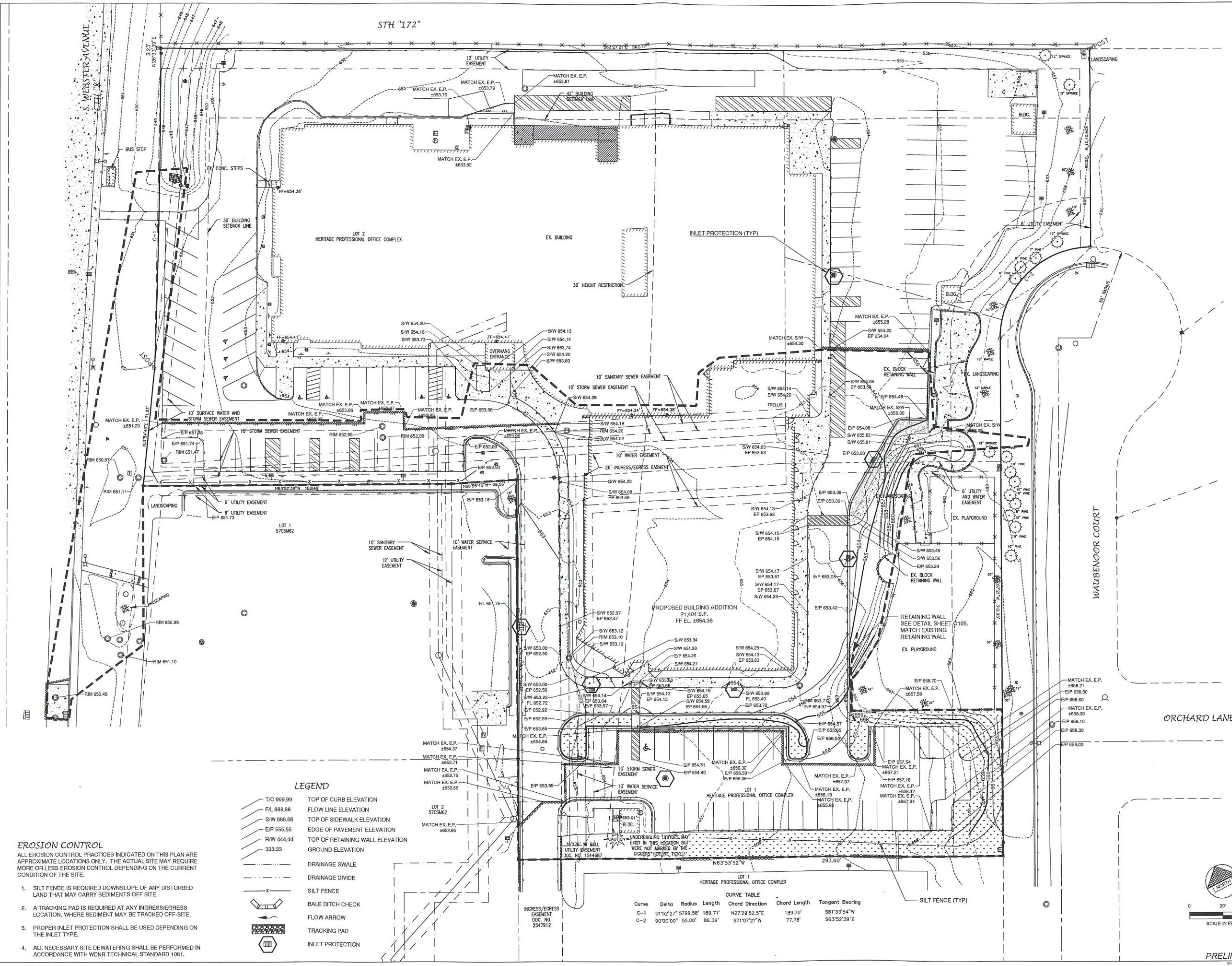
PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

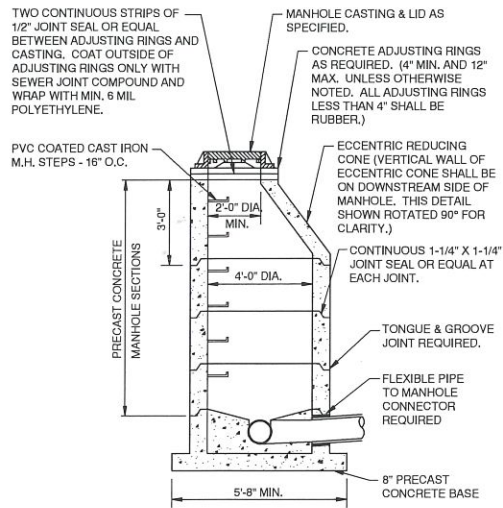
Date: 01/2017
Project No: 6450
Sheet: C105



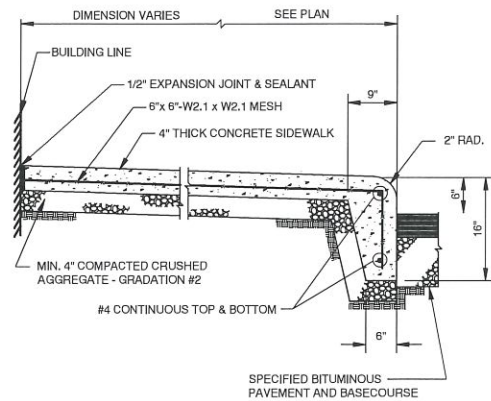
0' 20' 40'
SCALE IN FEET

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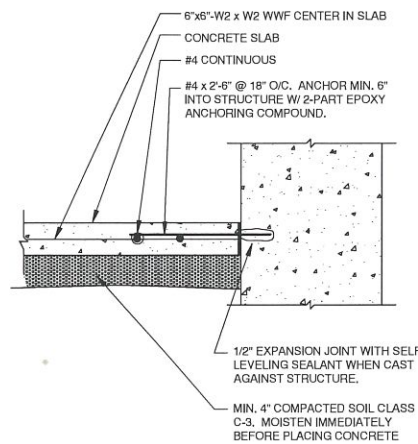




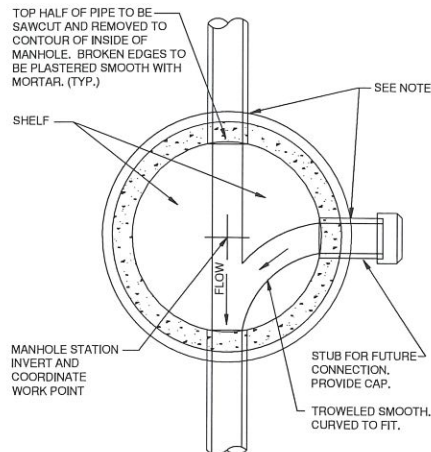
**SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)**



SIDEWALK WITH INTEGRAL CURB

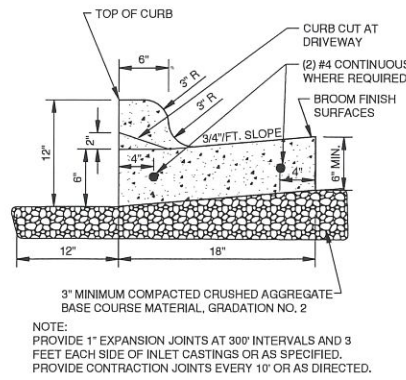


**TYPICAL SIDEWALK ADJACENT
TO STRUCTURE**

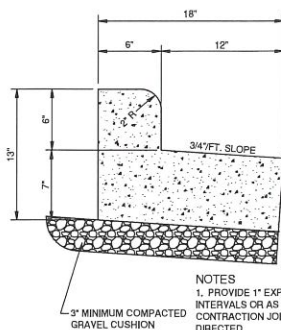


NOTE:
FOR PVC PIPE PROVIDE AN APPROVED FLEXIBLE JOINT.

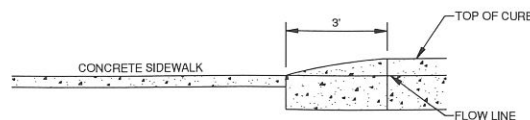
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



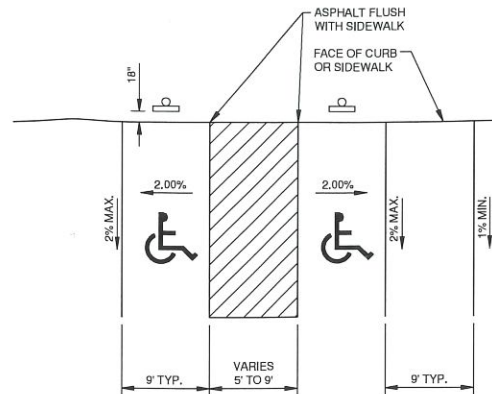
STANDARD CURB & GUTTER



SHEDDING CURB DETAIL

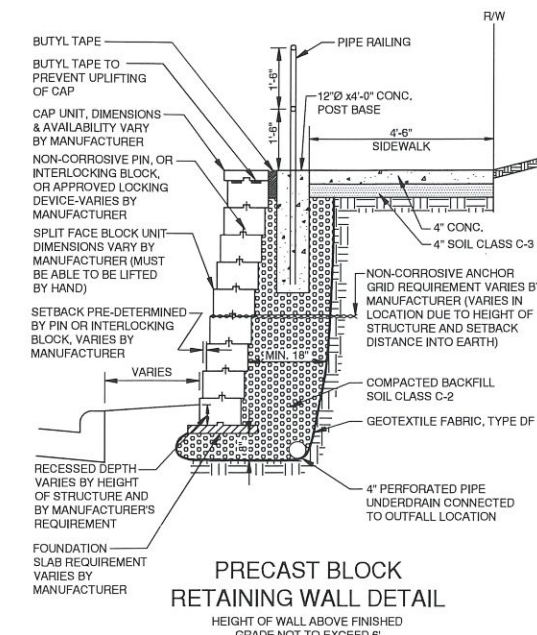


CURB TAPER DETAIL

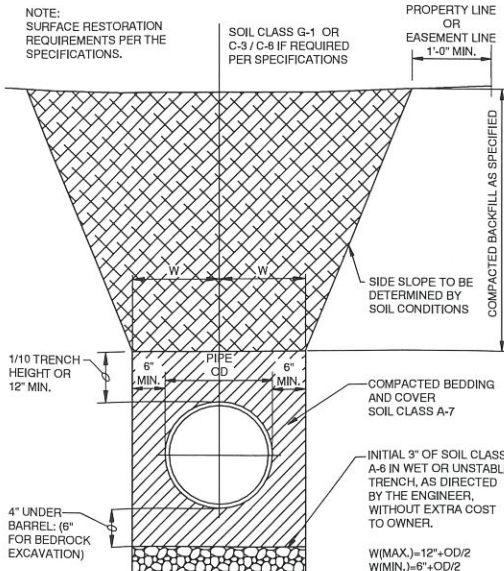


NOTE:
ALL ELEVATIONS ARE RELATIVE TO HORIZONTAL TOP OF CURB.

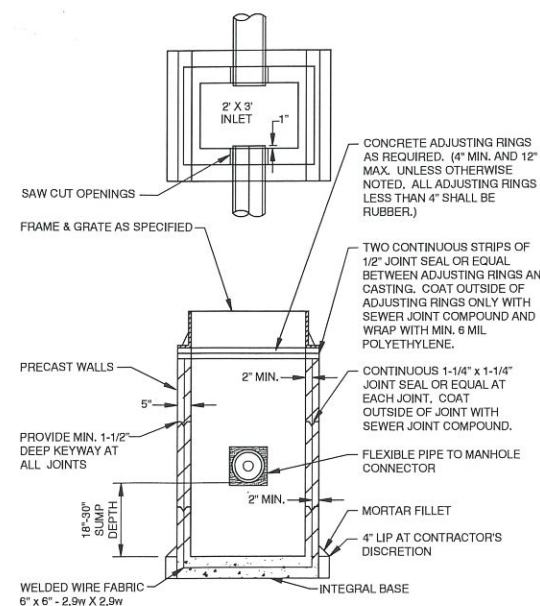
**TYPICAL ACCESSIBLE
PARKING STALL LAYOUT**



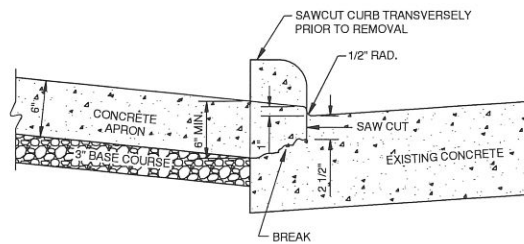
**PRECAST BLOCK
RETAINING WALL DETAIL**



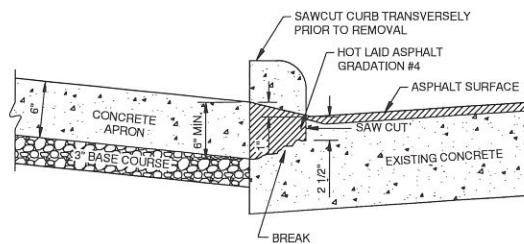
**HDPE /PVC SEWER & WATERMAIN & FORCEMAIN
BEDDING & TRENCH SECTION**



TYPE 'B' STORM INLET

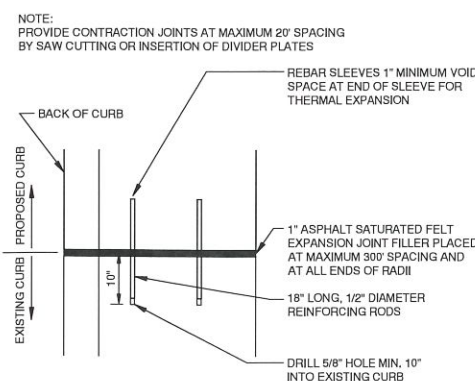


**CURB REMOVAL FOR DRIVEWAY OPENING WITH
CONCRETE APRON ON CONCRETE SURFACE STREETS**



**CURB REMOVAL FOR DRIVEWAY OPENING
WITH CONCRETE APRON ON ASPHALT OVER CONCRETE
SURFACE STREETS**

CURB REMOVAL DETAIL



**CURB TIE-IN DETAIL
(PROPOSED TO EXISTING)**

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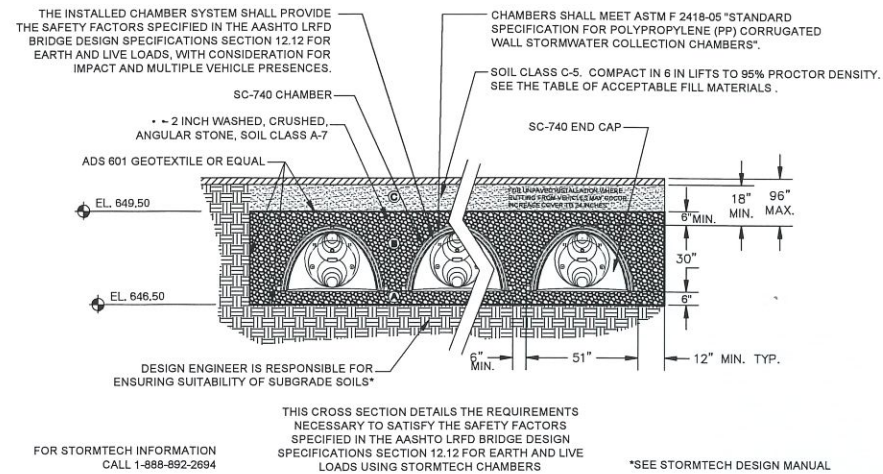
Revision	Description	Date

MISCELLANEOUS DETAILS

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date: 01/2017
Project No. 6450
Sheet: C106

PRELIMINARY
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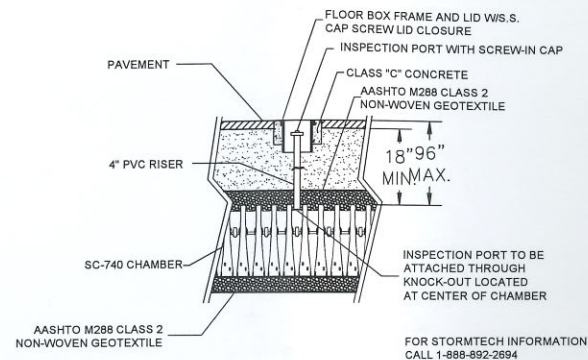
SC-740 TYPICAL CROSS SECTION

ACCEPTABLE FILL MATERIALS - STORMTECH SC-740 CHAMBER SYSTEMS

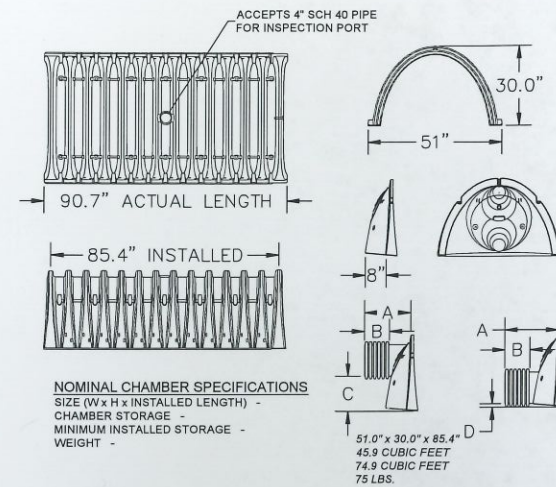
MATERIAL LOCATION	DESCRIPTION	SOIL CLASS	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	G-1	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
© FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	C-5	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
® EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN	A-7	NO COMPACTION REQUIRED
® FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN	A-7	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

STORMTECH ACCEPTABLE FILL MATERIALS

- NOTES:
- ALL DESIGN SPECIFICATIONS FOR STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL.
 - THE INSTALLATION OF STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
 - THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
 - CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND SAFETY FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.



STORMTECH INSPECTION PORT DETAIL



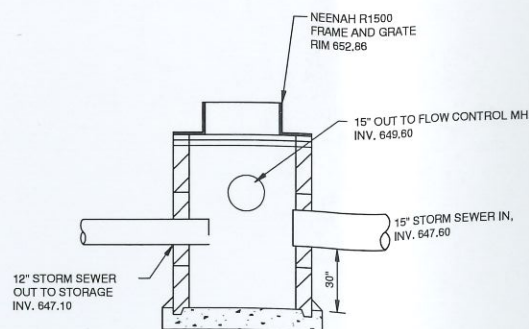
PART #	CHAMBER	PIPE SIZE	A	B	C	D
SC740EP06T	SC 740	6 in (150 mm)	10.90 in (277 mm)	3.85 in (98 mm)	18.50 in (470 mm)	N/A
SC740EP06B	SC 740	6 in (150 mm)	10.90 in (277 mm)	3.85 in (98 mm)	N/A	0.50 in (13 mm)
SC740EP12T	SC 740	12 in (300 mm)	14.70 in (373 mm)	7.70 in (196 mm)	12.50 in (318 mm)	N/A
SC740EP12B	SC 740	12 in (300 mm)	14.70 in (373 mm)	7.70 in (196 mm)	N/A	1.20 in (30 mm)
SC740EP15T	SC 740	15 in (375 mm)	18.40 in (467 mm)	10.36 in (263 mm)	9.00 in (229 mm)	N/A
SC740EP15B	SC 740	15 in (375 mm)	18.40 in (467 mm)	10.36 in (263 mm)	N/A	1.30 in (33 mm)
SC740EP18T	SC 740	18 in (450 mm)	19.70 in (500 mm)	10.72 in (272 mm)	5.00 in (127 mm)	N/A
SC740EP18B	SC 740	18 in (450 mm)	19.70 in (500 mm)	10.72 in (272 mm)	N/A	1.60 in (41 mm)
SC740EP24B	SC 740	24 in (600 mm)	18.50 in (470 mm)	9.45 in (240 mm)	N/A	0.10 in (3 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

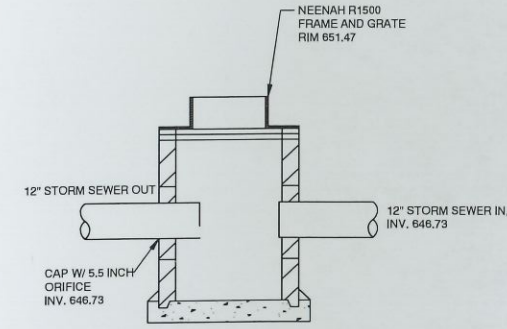
ALL STUBS, EXCEPT FOR THE SC740EP24B, ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EP24B THE 24" STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75". BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 12" STUB SO THAT THE FITTING SETS LEVEL.

TECHNICAL DETAILS



DISCHARGE CONTROL MH (MH 8)

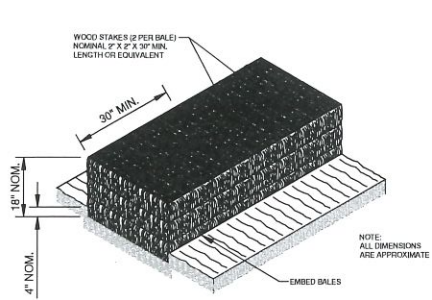


DISCHARGE CONTROL MH (MH 9)

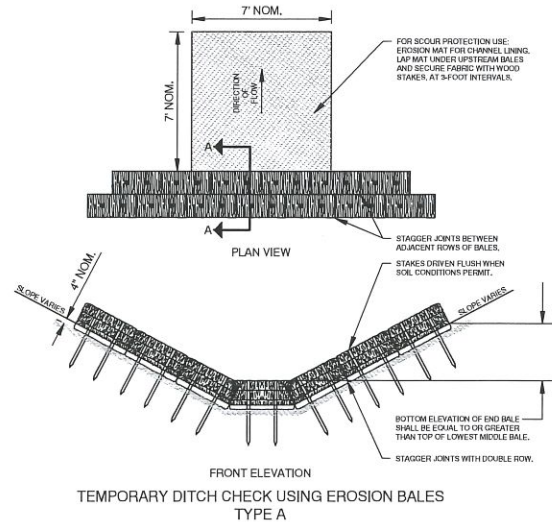


Revisions	Description	Date

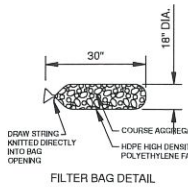
UNDERGROUND CHAMBER AND CONTROL MANHOLE DETAILS



SECTION A-A



TEMPORARY DITCH CHECK USING EROSION BALES TYPE A



FILTER BAG DETAIL

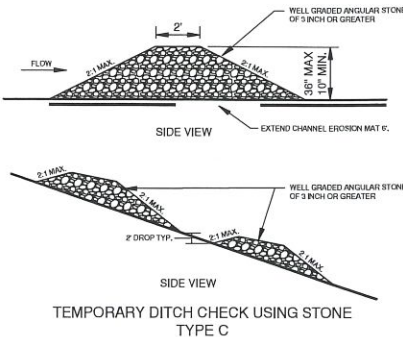
COARSE AGGREGATE INFORMATION	SIZE NO.
2 INCH (50 mm)	10-20
1 1/2 INCH (37.5 mm)	10-20
1 INCH (25.4 mm)	10-20
3/4 INCH (19.0 mm)	10-20
3/8 INCH (9.5 mm)	20-30
No. 4 (4.75 mm)	30-40
No. 8 (2.36 mm)	40-50

NOTE:

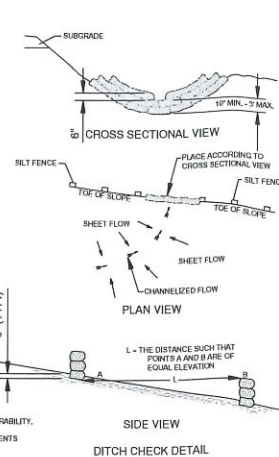
1/4\"/>

USE WELL GRADED COARSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

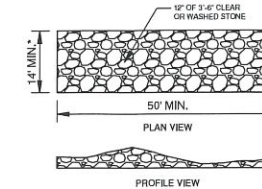
ROCK FILLED EROSION CONTROL BAGS TYPE B



TEMPORARY DITCH CHECK USING STONE TYPE C



DITCH CHECK DETAIL



TRACKING PAD DETAIL (IF APPLICABLE)

INLET PROTECTION NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WOOD PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>

2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18\"/>

3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2\"/>

4. SIDE FLAPS SHALL BE A MAXIMUM OF 6\"/>

INSTALLATION NOTES:

TYPE \"A\" & \"C\"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 5\"/>

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDERS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE \"D\"

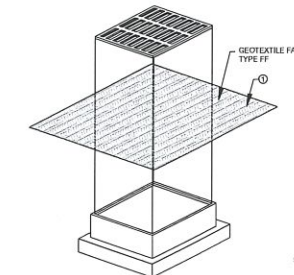
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALL OVER TURN 10\"/>

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

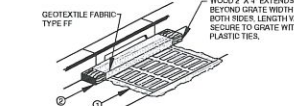
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3\"/>

USING PLASTIC ZIP TIES, TO ACHIEVE THE 3\"/>

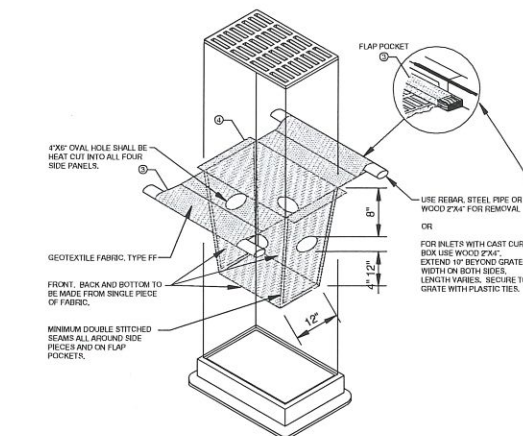
CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4\"/>



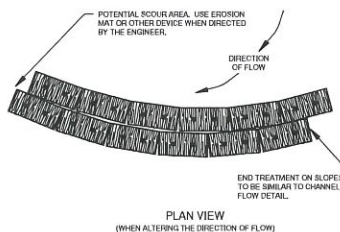
INLET PROTECTION, TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



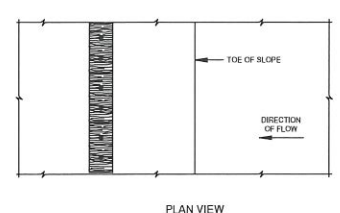
INLET PROTECTION, TYPE C (WITH CURB BOX)



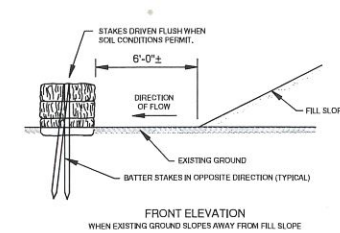
INLET PROTECTION, TYPE D (CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT CURB BOX AS PER NOTE 7)



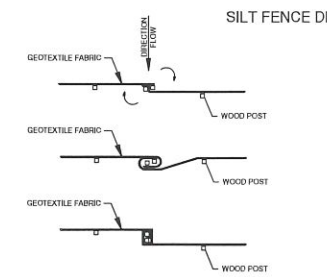
PLAN VIEW (WHEN ALTERING THE DIRECTION OF FLOW)



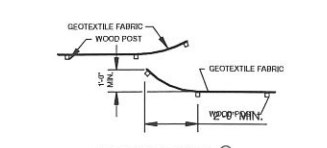
PLAN VIEW



EROSION BALES FOR SHEET FLOW

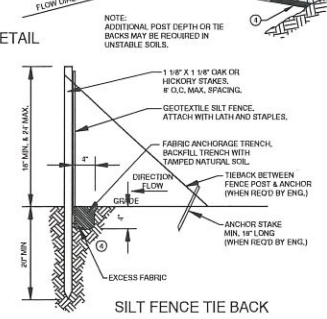


TWIST METHOD

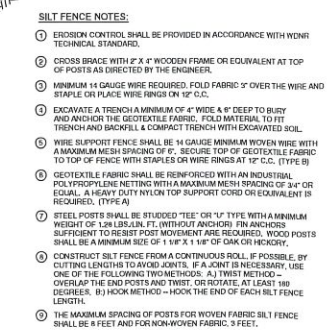


HOOK METHOD

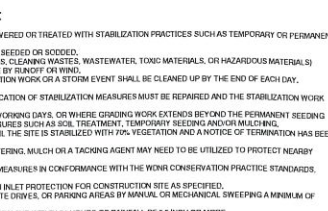
JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK



SILT FENCE DETAIL



EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL DISTURBED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SOILED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK RE-DO.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINE, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH PERMANENT VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE DNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WORK CONSERVATION PRACTICE STANDARDS, LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. THE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE PER WEEK AND BEFORE ALL IMMINENT RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.

Robert E. Lee & Associates, Inc.
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1250 COLLEGE DRIVE, SUITE 200, GREEN BAY, WI 53015
920-662-1844
www.rela-inc.com



design matters

somerville
architects & engineers
Somerville, Inc. 12100 Riverside Drive, Green Bay, WI 53015-2990
P 920.437.2131 F 920.437.1131 www.somervilleinc.com

SCALE VERIFICATION	
1"=1' AT FULL SCALE	
Revisions	Date

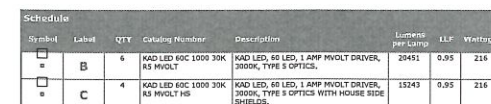
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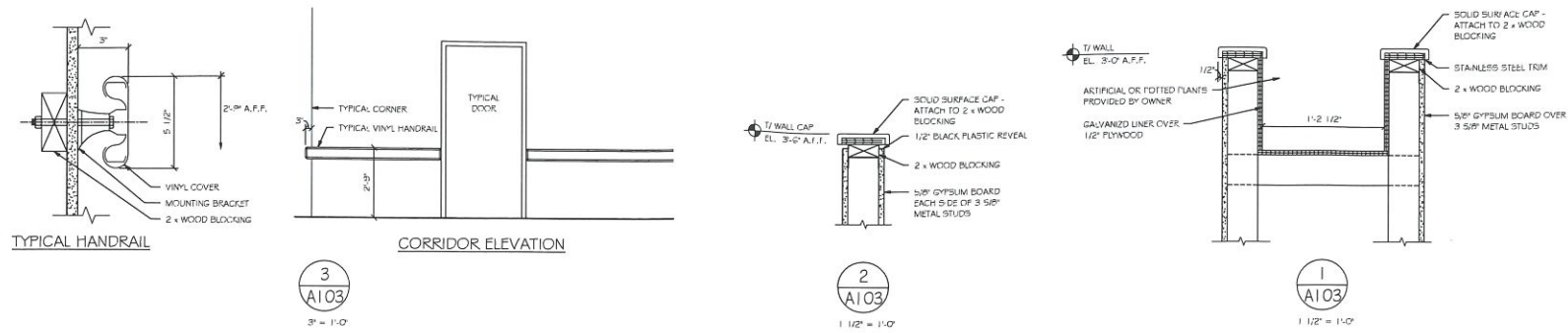
EROSION CONTROL DETAILS

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date: 01/2017
Project No. 6450
Sheet: C109

PRELIMINARY
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- GENERAL NOTES:**
- SEE SHEETS A101 - A103 FOR CASEWORK, TOILET ROOM AND INTERIOR ELEVATIONS.
 - LOCATE INTERIOR MOVEMENT JOINTS IN CMU AND GYPSUM BOARD PER SPECIFICATIONS.
 - SEE EXTERIOR ELEVATION FOR LOCATION OF MOVEMENT JOINTS (M.J.) IN EXTERIOR WALL CONSTRUCTION.
 - PROVIDE BLOCKING AT ALL TV, WALL MOUNTED MONITOR AND WALL MOUNTED COMPUTER LOCATIONS.
 - SEE XXXX FOR MINIMUM ADA REQUIRED CLEARANCES AT DOOR WITH CLOSERS.
 - SEE XXXX FOR MINIMUM ADA REQUIRED CLEARANCES AT DOOR WITH CLOSERS.
 - SEE XXXX FOR MINIMUM ADA REQUIRED CLEARANCES AT DOOR WITH CLOSERS.
- PLAN NOTES:**
- DASHED LINES INDICATE FURNITURE / EQUIPMENT PROVIDED BY OWNER.
 - NUMBER INDICATES BORROWED LIT - (SEE SHEET A201).
 - SEMI-RECESSED FIRE EXTINGUISHER CABINET, EXTINGUISHER SIZED AND PROVIDED BY OWNER.
 - PREP AND PAINT NEW OPENING TO MATCH ADJACENT WALL FINISH.
 - RECEPTION DESK BY OWNER, COORDINATE FINAL DESIGN AND ADJUST FLOORING TRANSITION AS REQUIRED.
 - WELL OPENINGS IN WALL TO MATCH EXISTING CONSTRUCTION AND FINISH.
 - PATCH, REPAIR, AND FINISH WALL WITH GYPSUM BOARD.
 - PLASTER WITH ARTIFICIAL OR FOTTED PLANTS PROVIDED BY OWNER - SEE LIAISON.
 - OVERHEAD PROJECTOR PROVIDED BY OWNER.
 - PLASTIC LAMINATE SILL.
 - ADA HANDRAIL - SEE XXXX.
 - DASHED CASEWORK PROVIDED BY VENDOR.

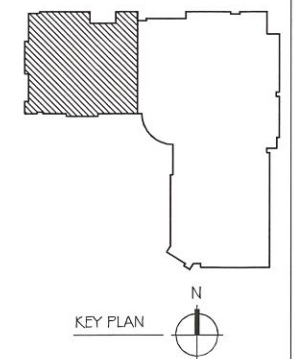
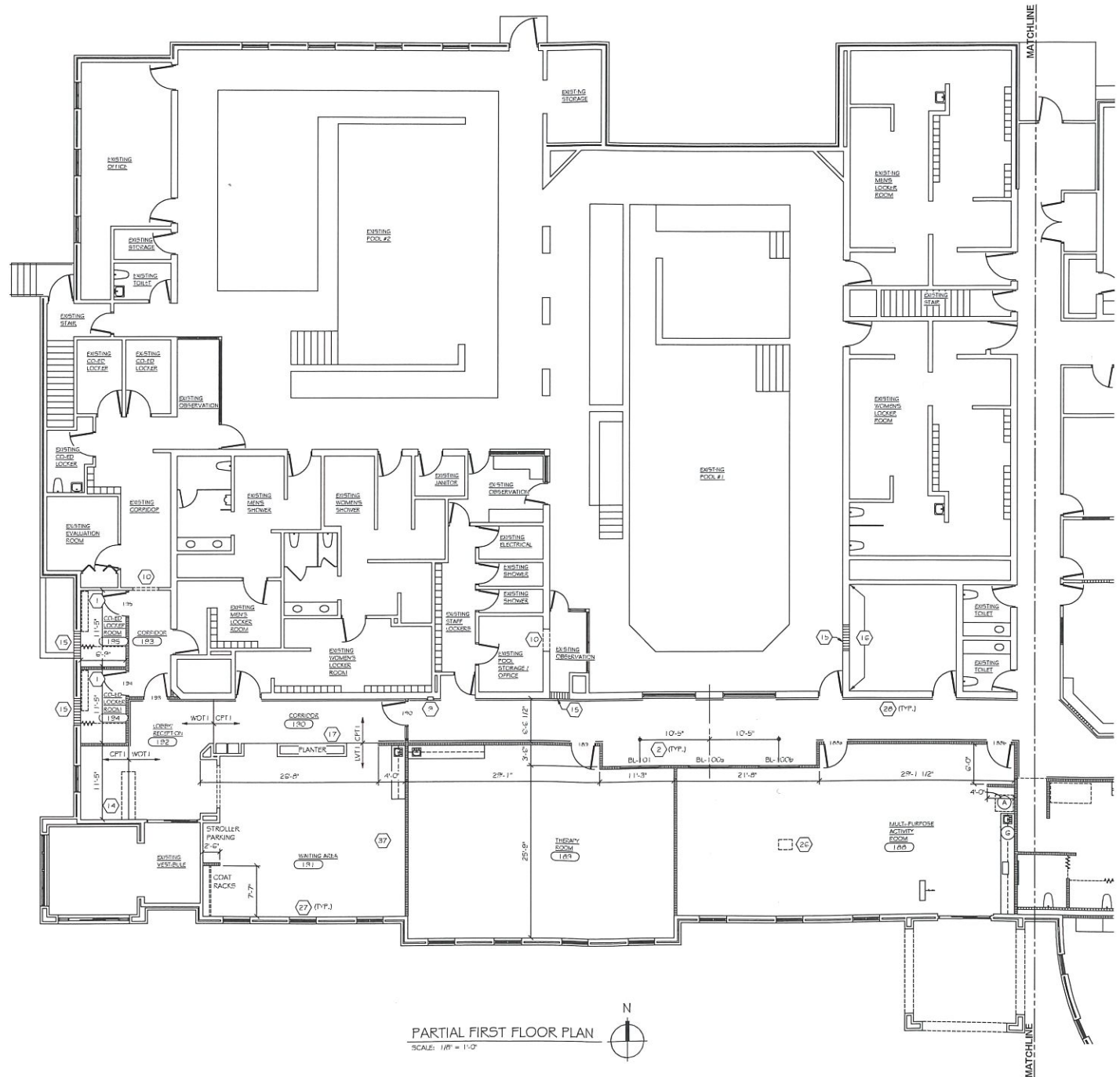
PARTITION LEGEND

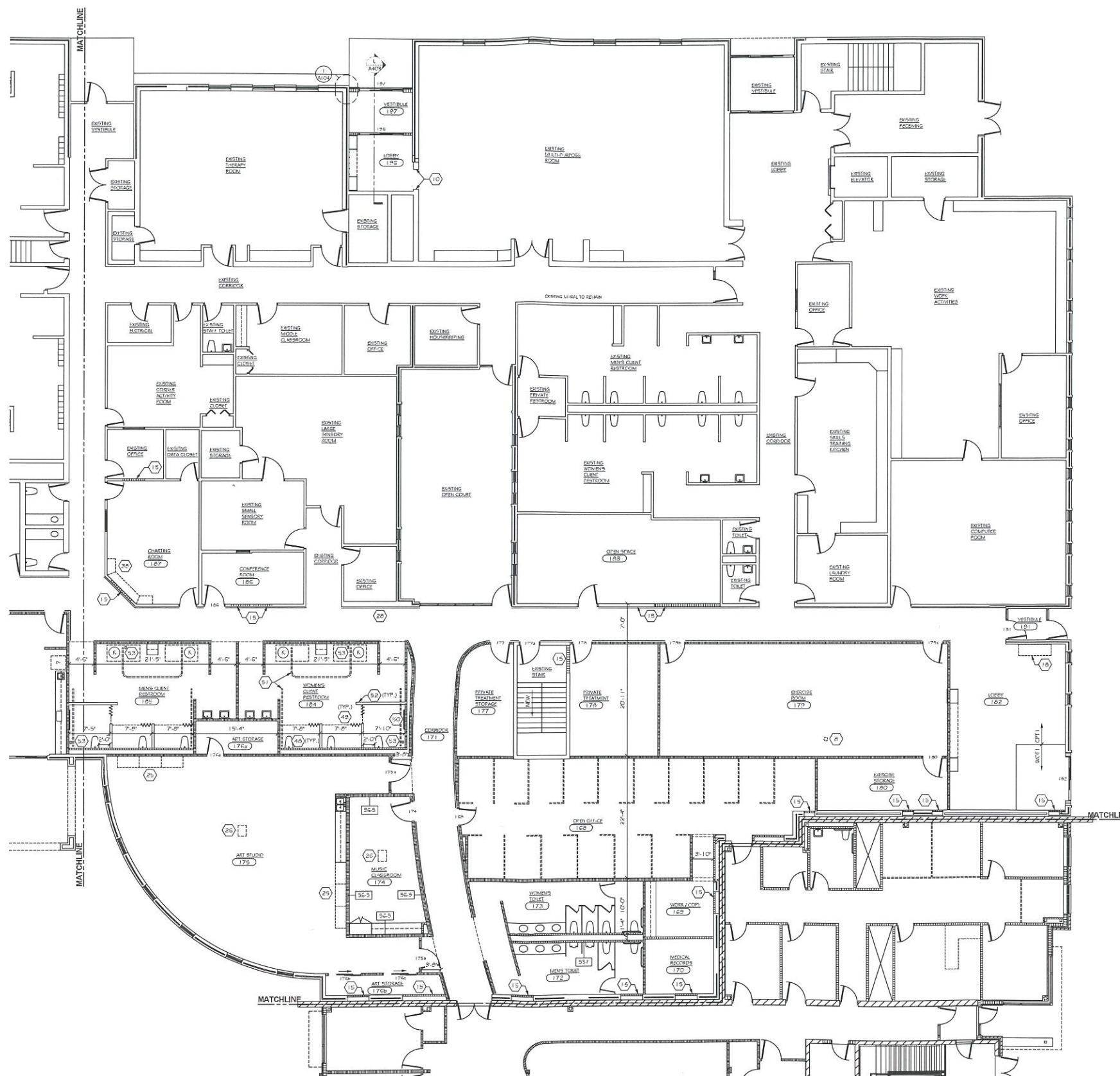
---	EXISTING CONSTRUCTION TO REMAIN
----	GYPSUM BOARD ON METAL STUDS AT 16" O.C.
=====	FACE BRICK
=====	CMU WALL WITH HORIZ. RF AT 16" O.C.
=====	1 HOUR RATED CONSTRUCTION B.U.L. DESIGN NO. 10000
=====	3 HOUR RATED CONSTRUCTION B.U.L. DESIGN NO. 10000


NOTE:
FOR BRACING TOP OF NON-LOAD BEARING WALLS, SEE XXXX.

EQUIPMENT LIST
(EQUIPMENT PROVIDED BY OWNER)

MARK	DESCRIPTION	POWER	DATA	WATER SUPPLY	DRAIN
A	FULL-SIZE REFRIGERATOR	X			
B	UNDER-COUNTER REFRIGERATOR	X			
C	BUILT-IN STACK OVEN	X			
D	FULL-SIZE FREEZER	X			
E	UNDER-COUNTER FREEZER	X			
F	MICROWAVE	X			
G	DISHWASHER	X			
H	WASHER	X		X	X
J	DRYER	X			
K	CHANGING TABLE	X			





- A. SEE SHEETS AXXX - AXXX FOR CASEWORK, TOILET ROOM AND INTERIOR ELEVATIONS.
- B. LOCATE INTERIOR MOVEMENT JOINTS IN CMU AND GYPSUM BOARD PER SPECIFICATIONS.
- C. SEE EXTERIOR ELEVATION FOR LOCATION OF MOVEMENT JOINTS IN/ON EXTERIOR WALL CONSTRUCTION.
- D. PROVIDE BACKING AT ALL TV, WALL MOUNTED MONITOR AND WALL MOUNTED COMPUTER LOCATIONS.
- E. SEE XXXX FOR MINIMUM ADA REQUIRED CLEARANCES AT DOOR WITH CLOSERS.
- F.  DENOTES PUSH BUTTON CONTROL FOR POWER DOOR OFFSETTER.

- 1 DASHED LINES INDICATE FURNITURE / EQUIPMENT PROVIDED BY OWNER.
- 2 EXISTING CEILING MOUNTED EQUIPMENT SUPPORT HOOKS TO REMAIN.
- 3 PREP AND PAINT NEW OPENING TO MATCH ADJACENT WALL FINISH.
- 4 INSTALL OPENINGS IN WALL TO MATCH EXISTING CONSTRUCTION AND FINISH.
- 5 EXISTING AVIARY BY OWNER.
- 6 STORAGE UNITS PROVIDED BY OWNER.
- 7 OVERHEAD PROJECTOR PROVIDED BY OWNER.
- 8 HANDRAIL - SEE 2A1.03.
- 9 LATRINE PLATE PROVIDED BY OWNER.
- 10 SWING AWAY GRAB BARS BY OWNER - COORDINATE BLOCKING NEEDS.
- 11 SWING AWAY "PRIVACY" CURTAIN BY OWNER - COORDINATE BLOCKING NEEDS.
- 12 42" GRAB BAR.
- 13 HOVER LIFT TRACK PROVIDED BY LIFT SYSTEM MANUFACTURER.
- 14 PARTIAL HEIGHT WALL.
- 15 CEILING INSTALLED POWER OUTLET AS REQUIRED FOR HOVER LIFT SYSTEM.

	EXISTING CONSTRUCTION TO REMAIN
	GYP-SUM BOARD ON METAL STUDS AT 16' O.C.
	FACE BRICK
	CMU WALL WITH HORIZ. REIN. AT 16' O.C.
	1-HOUR RATED CONSTRUCTION ON S.I. DESIGN NO. 10
	- SEE WALL TYPES FOR ADDITIONAL INFORMATION.
	3-HOUR RATED CONSTRUCTION ON S.I. DESIGN NO. 10
	- SEE WALL TYPES FOR ADDITIONAL INFORMATION.
NOTE: FOR BRACING TOP OF NON-LOAD BEARING WALLS, SEE DETAIL.	

(EQUIPMENT PROVIDED BY OWNER)

MARK	DESCRIPTION	POWER	DATA	WATER SUPPLY	C
A	FULL-SIZE REFRIGERATOR	X			
B	UNDER-COUNTER REFRIGERATOR	X			
C	BUILT-IN STACK OVEN	X			
D	FULL-SIZE FREEZER	X			
E	UNDER-COUNTER FREEZER	X			
F	MICROWAVE	X			
G	DISHWASHER	X			
H	WASHER	X		X	
J	DRYER	X			
K	CHINA/CASE TABLE	X			

SCALE: 1/8" = 1'-0"



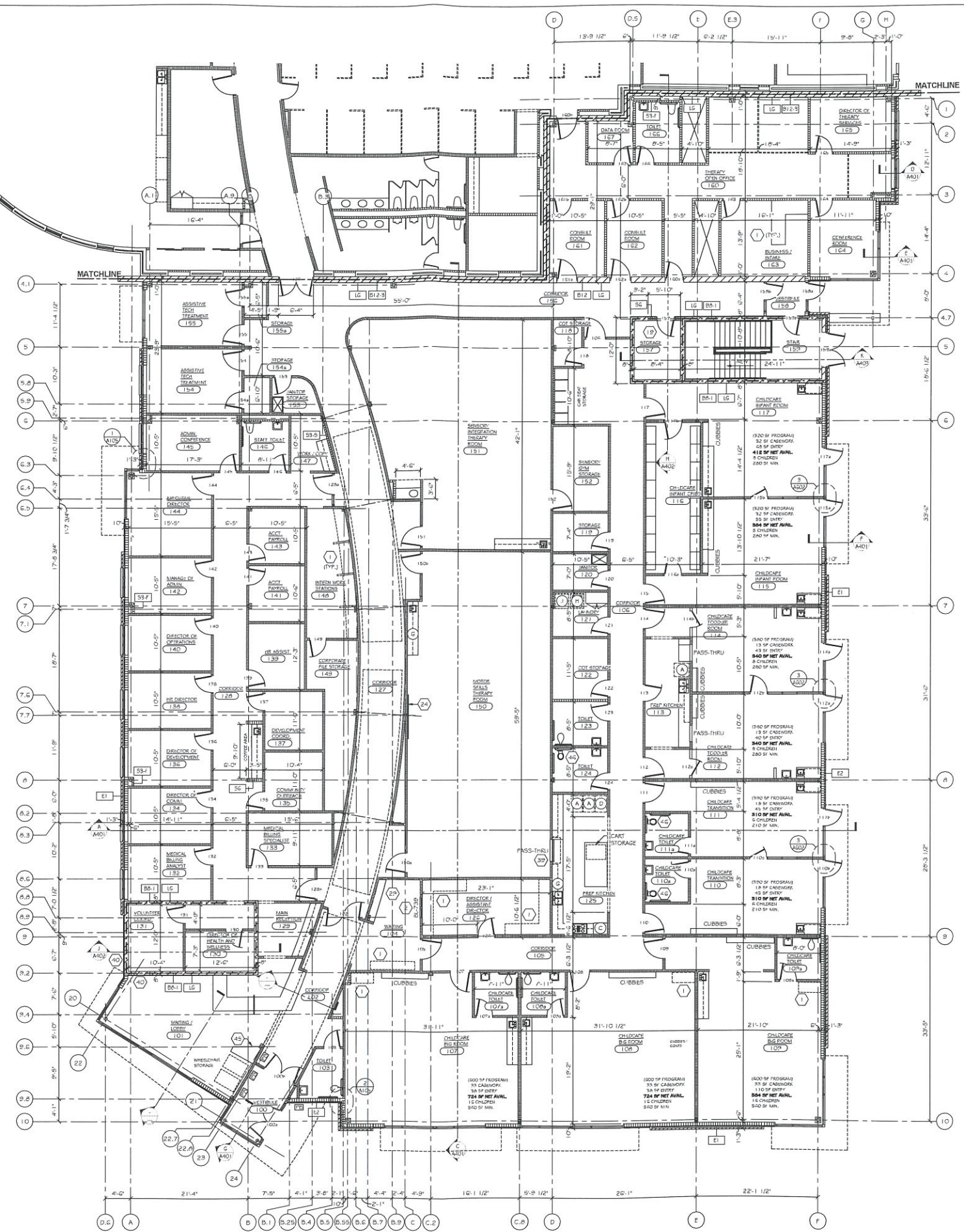
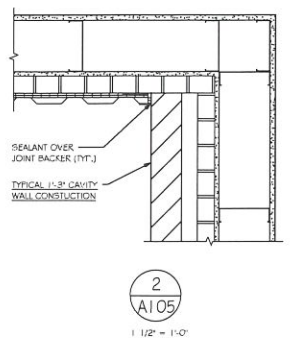
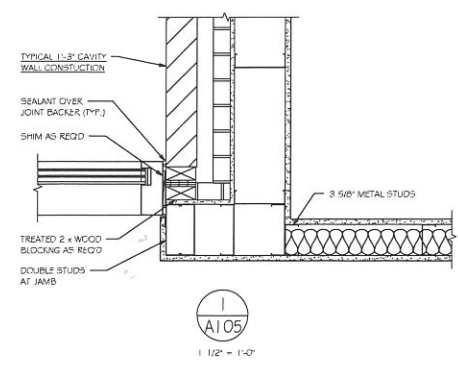
A diagram of a bar magnet. The left end is labeled 'N' (North) and the right end is labeled 'S' (South). The magnet is represented by a rectangle with a circle inside, and a horizontal line passing through the center of the circle.

PRELIMINARY

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date:
02/10/17
Project No.
6450
Sheet

A104



PARTIAL FIRST FLOOR PLAN 3
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- SEE SHEETS A001 - A003 FOR CASEWORK, TOILET ROOM AND INTERIOR ELEVATIONS.
 - LOCATE INTERIOR MOVEMENT JOINTS IN CMU AND GYPSUM BOARD PER SPECIFICATIONS.
 - SEE EXTERIOR ELEVATION FOR LOCATION OF MOVEMENT JOINTS (M.J.) IN EXTERIOR WALL CONSTRUCTION.
 - REMOVE BLOCKING AT ALL TV, WALL MOUNTED MONITOR AND WALL MOUNTED COMPUTER LOCATIONS.
 - SEE XA001 FOR MINIMUM ADA REQUIRED CLEARANCES AT DOOR WITH CLOSERS.
 - SEE DENTIST'S PUSH BUTTON CONTROL FOR POWER DOOR OPERATOR.

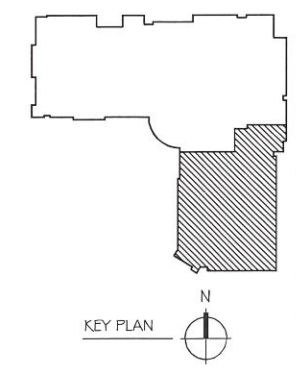
- PLAN NOTES:**
- DASHED LINES INDICATE FURNITURE / EQUIPMENT PROVIDED BY OWNER.
 - NUMBER INDICATES BORROWED LITE - SEE SHEET A001.
 - FUTURE ELEVATOR SHAFT - SEE STRUCTURAL FOR TEMPORARY FLOOR IN ALL.
 - 4'-0" x 8'-0" M. ROCK - VERIFY FINAL LOCATION WITH OWNER.
 - 4'-2" STANDING HEIGHT WORK SURFACE (W/ 1/4" CHECK-IN COUNTER).
 - 4'-0" W x 4'-0" H COILING SHUTTER DOOR - (SEE A002).
 - BLOCK OUT CMU WALL FOR FUTURE STAIR DOOR.
 - LOWER HEIGHT WALL WITH PLASTIC LAMINATE (P/L) CAP.
 - EXPOSED PLUMB VALVE BEHIND WASHBY BY PLUMBING CONTRACTOR (CHILD RESISTANT).

PARTITION LEGEND

[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	GYPSUM BOARD ON METAL STUDS AT 16" O.C.
[Symbol]	FACE BRICK
[Symbol]	CMU WALL W/ HORIZ. R/F AT 16" O.C.
[Symbol]	1 HOUR RATED CONSTRUCTION B.U.L. (DESIGN NO. U000) - SEE WALL TYPES FOR ADDITIONAL INFORMATION.
[Symbol]	3 HOUR RATED CONSTRUCTION B.U.L. (DESIGN NO. U000) - SEE WALL TYPES FOR ADDITIONAL INFORMATION.
NOTE: FOR BRACING TOP OF NON-LOAD BEARING WALLS, SEE XA000.	

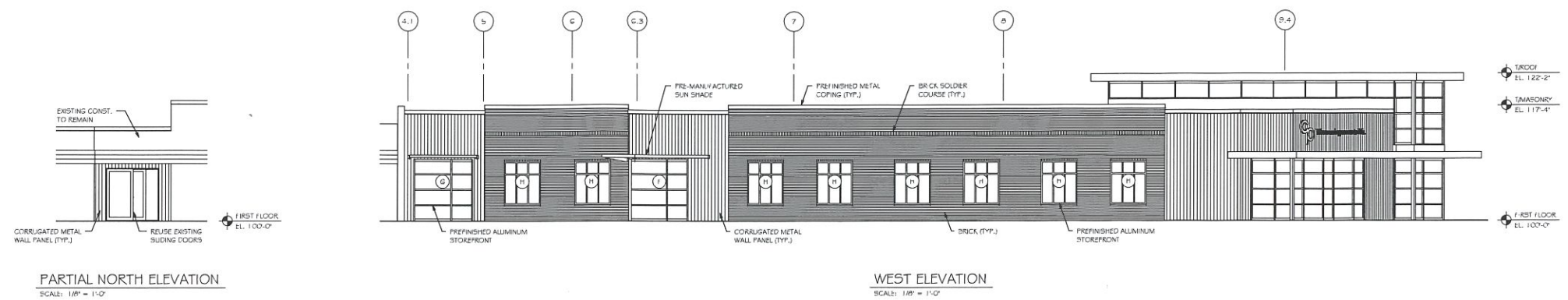
EQUIPMENT LIST
(EQUIPMENT PROVIDED BY OWNER)

MARK	DESCRIPTION	POWER	DATA	WATER SUPPLY	DRAIN
A	FULL-SIZE REFRIGERATOR	X			
B	UNDER-COUNTER REFRIGERATOR	X			
C	BUILT-IN STACK OVEN	X			
D	FULL-SIZE FREEZER	X			
E	UNDER-COUNTER FREEZER	X			
F	MICROWAVE	X			
G	DISHWASHER	X			
H	WASHER	X		X	X
J	DRYER	X			
K	CHANGING TABLE	X			



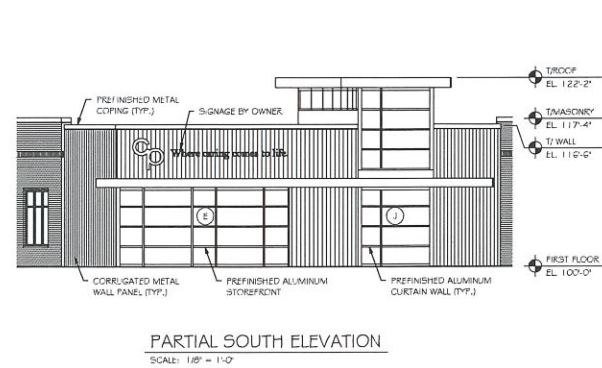
Revisions	Description	Date

Revisions	Description	Date

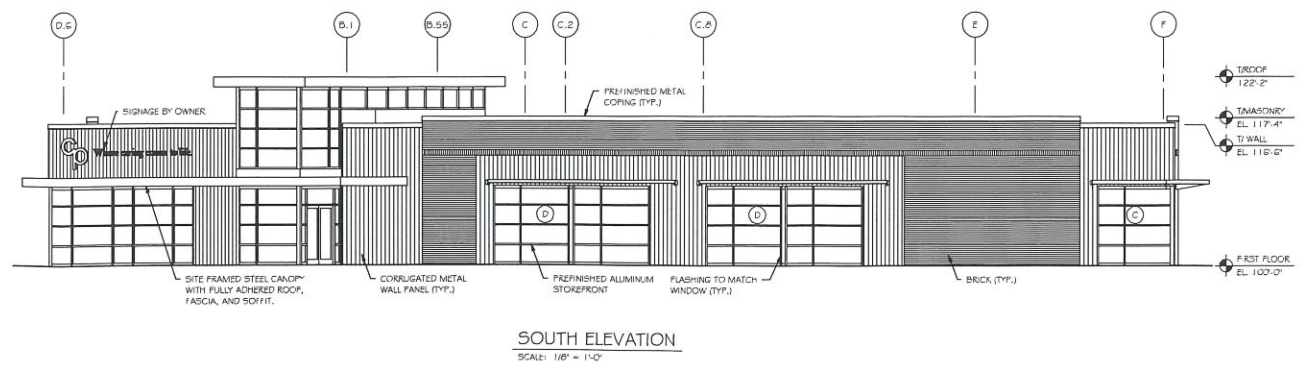


PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date:
02/10/17
Project No:
6450
Sheet:
A301

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PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date:
02/10/17
Project No:
6450
Sheet:

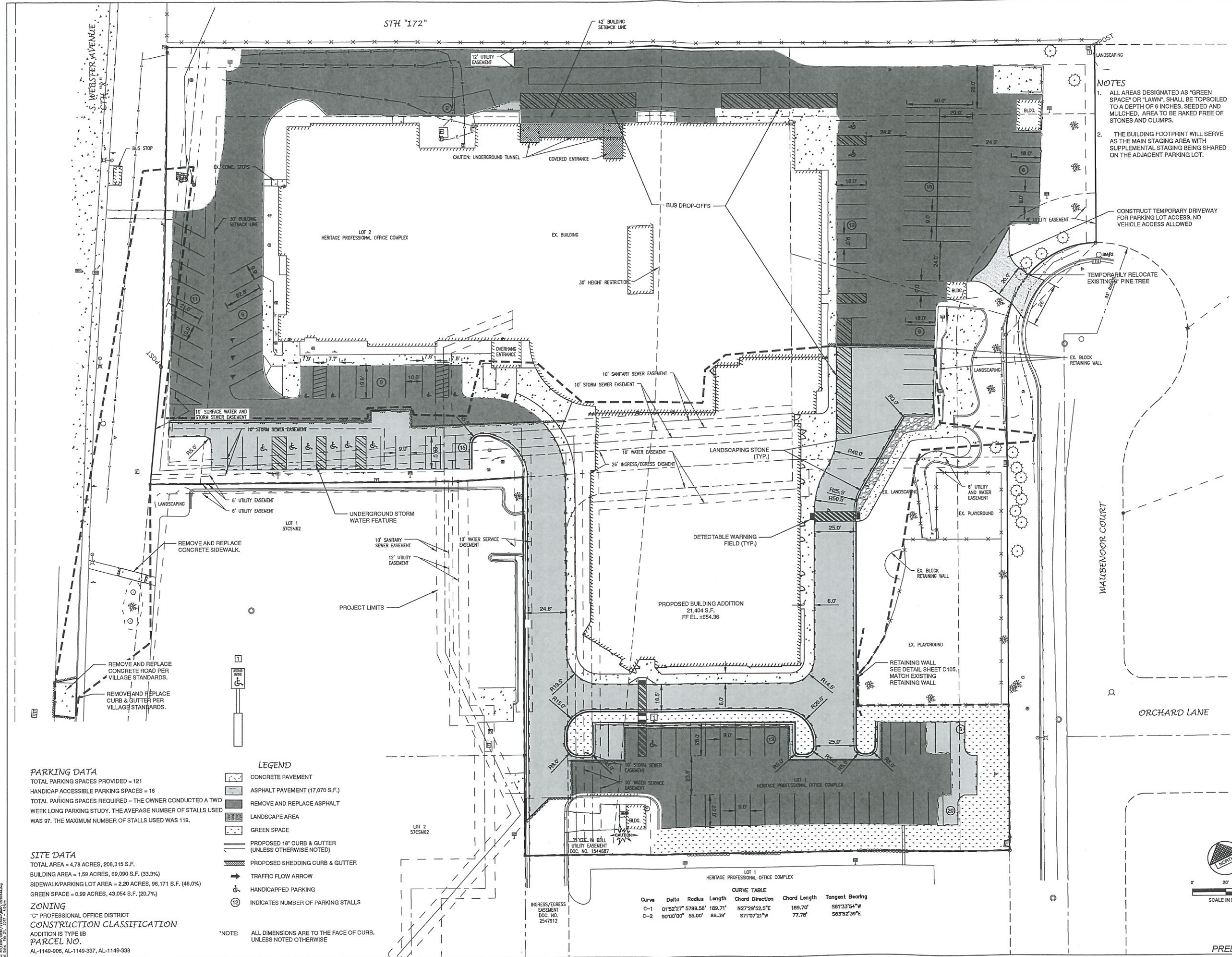
AERIAL

Revisions	Description	Date

This drawing is a preliminary design and should not be used for construction without the written approval of Somerville, Inc.
Somerville, Inc. 2100 Riverside Drive, Green Bay, WI 54301-2390
P 920.437.8136 F 920.437.1131 www.somervilleinc.com

somerville
architects engineers
Somerville, Inc. 2100 Riverside Drive, Green Bay, WI 54301-2390
P 920.437.8136 F 920.437.1131 www.somervilleinc.com

design
matters.



PARKING DATA
TOTAL PARKING SPACES PROVIDED = 121
HANDICAP ACCESSIBLE PARKING SPACES = 16
TOTAL PARKING SPACES REQUIRED = THE OWNER CONDUCTED A TWO WEEK LONG PARKING STUDY. THE AVERAGE NUMBER OF STALLS USED WAS 97. THE MAXIMUM NUMBER OF STALLS USED WAS 119.

SITE DATA
TOTAL AREA = 4.78 ACRES, 208,315 S.F.
BUILDING AREA = 1.59 ACRES, 69,090 S.F. (33.3%)
SIDEWALK/PARKING LOT AREA = 2.20 ACRES, 96,171 S.F. (46.0%)
GREEN SPACE = 0.99 ACRES, 43,054 S.F. (20.7%)

ZONING
"C" PROFESSIONAL OFFICE DISTRICT
CONSTRUCTION CLASSIFICATION
ADDITION IS TYPE IIB
PARCEL NO.
AL-1149-906, AL-1149-337, AL-1149-338

- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (17,070 S.F.)
 - REMOVE AND REPLACE ASPHALT
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" CURB & GUTTER (UNLESS OTHERWISE NOTED)
 - PROPOSED SHEDDING CURB & GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATES NUMBER OF PARKING STALLS

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

INGRESS/EGRESS EASEMENT DOC. NO. 2547912

30" DIA. W. BELL UTILITY EASEMENT DOC. NO. 1544687

Curve	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing
C-1	01°52'27"	5799.58'	189.71'	N27°29'52.5"E	189.70'	S61°33'54"W
C-2	90°00'00"	55.00'	86.39'	S71°07'21"W	77.78'	S83°52'39"E

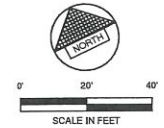
- NOTES**
- ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
 - THE BUILDING FOOTPRINT WILL SERVE AS THE MAIN STAGING AREA WITH SUPPLEMENTAL STAGING BEING SHARED ON THE ADJACENT PARKING LOT.

CONSTRUCT TEMPORARY DRIVEWAY FOR PARKING LOT ACCESS, NO VEHICLE ACCESS ALLOWED

TEMPORARILY RELOCATE EXISTING PINE TREE

WAUBESA COURT

ORCHARD LANE



PRELIMINARY
5/16/2017 12:45:19 PM

Robert F. Lee & Associates, Inc.
ARCHITECTS
1280 CENTINALE DRIVE, SUITE 100
GREEN BAY, WI 54303
P 920.437.8136 F 920.437.1131 WWW.RFLA.COM



design matters

SITE PLAN

PROPOSED ADDITION AND REMODEL
CEREBRAL PALSY, INC.
GREEN BAY, WISCONSIN

Date: 01/2017
Project No. 6450
Sheet:

C103

Site Plan & Design Review – Staff Comments

Site: 2801 S Webster Avenue (Parcel AL-1149-906, AL-1149-337, AL-1149-338)
Development: CP Center Addition and Remodel
Developer Representatives: Cerebral Palsy, Inc. – Jon Syndergaard – Executive Director
 Sommerville – Jason Hale, AIA, LEED AP BD+C – Project Architect
 Robert E. Lee & Associates, Inc. – Patrick H. Kuehl, P.E. – Civil/Municipal Project Manager

- Zoning Department review:

Zoning district	"C" Professional Office and Residence District		
Building use (allowed)	Office/Aquatic Center/ Adult Day-Care/ Child Day-Care/ Therapy Services		
	Required	Provided	Notes
Height	Lesser of 40' or 3 stories	22' 2"	
Lot Area	7,500SF minimum	208,315SF (4.78 acres)	
	Frontage	100' minimum	265'
	Green space	20% minimum	20.7%
Setback	Front	50'	70'
	Side (inner)	10'	47.5' (STH 172) 115' (Broadview)
	Side (corner)	N/A	N/A
	Rear	30'	109'
Parking	Number	General medical (1.5/200SF + 1/employee on shift) Indoor recreational – aquatic lobby, lockers, pool deck (1/250SF + 1/employee on shift) Professional Offices – (1/200SF for the first 8,000SF; 1/700 for the next 12,000SF) *Day-care center – (1/8 children + 1 que/ 20 children) *Adult day-care center – (1/client + 1 que/20 clients)	121 (on site)
	Size	10'x20'	Varied
	Bicycle	Bicycle parking should be provided	
Access	Automobile	24' drive lanes with 90 degree parking, 18' for 60 degree, 14' for 45 degree	Not provided
	Pedestrian	ADA compliant sidewalks	Standards met

			make the sidewalk less than 5' wide.
Architecture	Varied rooflines and other architectural designs that break-up the building mass	Standards met	
Exterior finishes	Brick, stone, glass, fiber cement siding, EFIS, stucco, wood siding	Brick, Corrugated metal	Corrugated metal may be allowed if approved by the Plan Commission
Lighting	Dark sky compliant, no light directed towards ROW, no more than 0.5FC at property line, must be shut off at 10p.m.	Exceeds FC level on plan NE & SW corners	The light spillage of more than 0.5FC is into neighboring parking (plan SW corner) and more than 0.2FC into residential neighborhood (plan NE corner). Light spillage into residential property should be addressed at minimum.
Sign	N/A	N/A	Location should be identified, but design is reviewed at time of sign permit. Sign should be shut off at 10p.m. with lights. Must meet all other sign requirements.
Fences/Screening	6' wide landscaped area on border of residential lot, with 1 tree/35', and berm, fence, wall, or landscape barrier between 6'-8' high and 90% opaque; dumpster must be located at rear and be screened using same finishes as primary structure; mechanical equipment must be screened from street	Not provided	Waiver may be granted by the Village Board for screening from residential lot with neighbor's written permission. Existing dumpster screening adequate if maintained. Mechanical equipment is assumed to be on rooftop. Should be screened from view from street.

****All other zoning requirements for "C" Professional Office and Residence District stipulated in Chapter 475 of Village Ordinances should be met to the highest degree possible.**

- Fire Department review:
 - A hydrant will be moved closer to the FDC location or the FDC will be moved closer to the hydrant according to the architect.
 - Additional comments attached (Attachment 2B).
- Parks, Recreation, and Forestry Department review:
 - Comments attached (Attachment 2C).
- Public Works Department review:
 - Comments attached (Attachment 2D).
- Additional comments:
 - Location of construction access – shared drive shall remain accessible and discussion should be considered for maintenance of shared roadway.
 - Temporary non-construction site access off of Waubenoer Court - No heavy truck access would be allowed because this is a residential street. If heavy trucks are needed, then the temporary access should be off of Webster Avenue.
 - Snow storage or removal should be addressed by the developer.

Date Reviewed: February 22, 2017
Comments Submitted By: Trevor Fuller, Village of Allouez Planning & Zoning Administrator

2B



Fire Department

Fire Marshals Division
Captain Joe Gabe

February 15th 2017,

Trevor Fuller-Planning and Zoning Administrator
Village of Allouez
1900 Libal Street
Green Bay, WI 54301-2453

RE: Fire Site Plan Review for the new Addition to the CP Center located at 2801 Webster Ave. in the Village of Allouez.

Dear Mr. Fuller,

Attached are the GBMFD requirements for the new Addition to the CP Center located at 2801 Webster Ave. in the Village of Allouez.

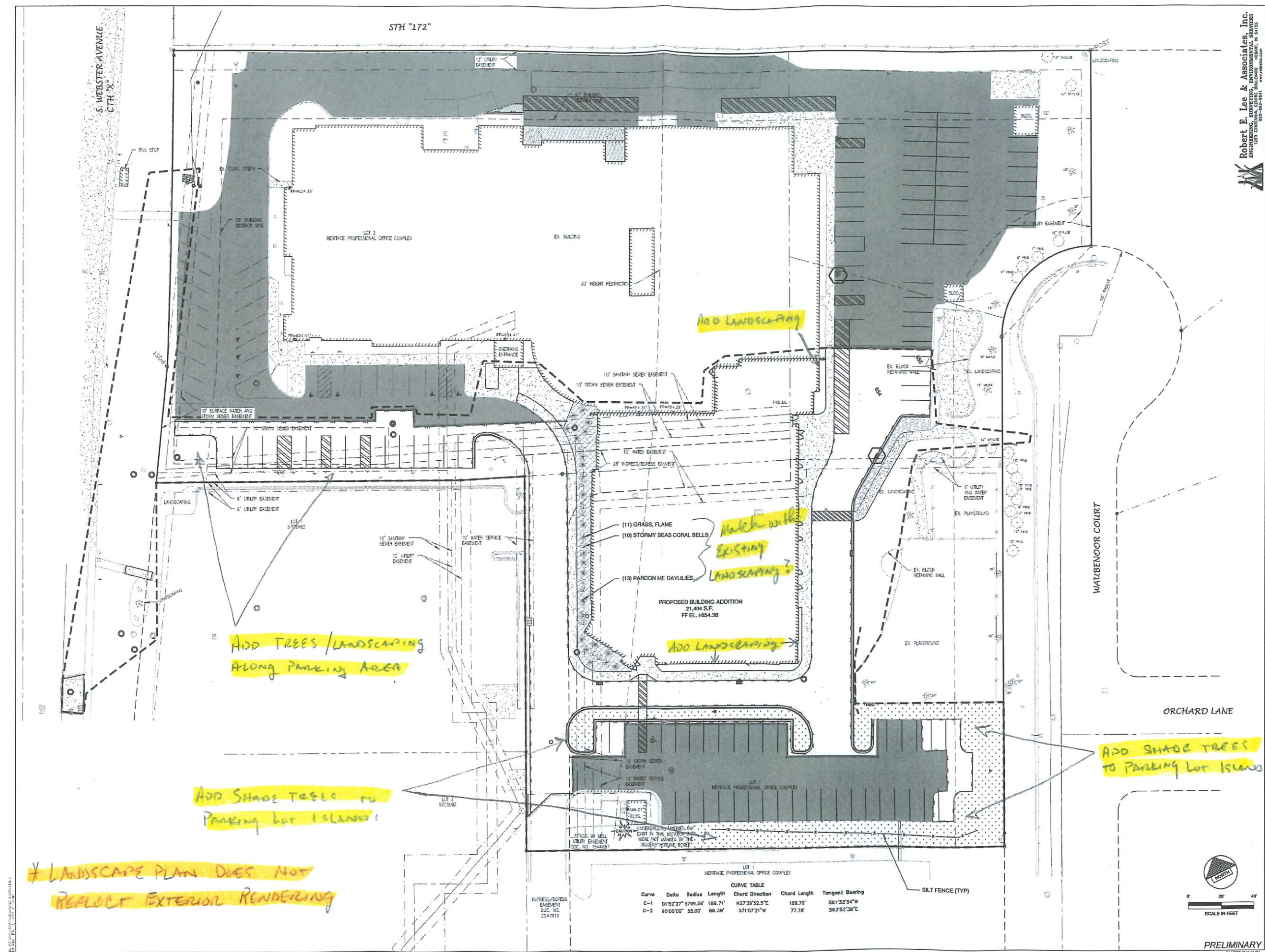
- The current Fire Department Connection for the old building is in a bad location on the NE corner of the building. GBMFD will like a private hydrant to be located closer to the FDC or have the FDC relocated during remodel to a location closer to a fire hydrant.
- A Knox Box will be required to be placed on the new entrance to the building. The Knox Box brand locking boxes can be purchased by calling (920) 448-3280 and requesting a Knox Box brand locking box packet or by going online at Knox Box.com and ordering online (please use the City of Green Bay as the jurisdiction). IFC #506.1 and 506.1.1. IF the remodel will contain a sprinkler control room accessible from the exterior a Knox box would also be required to be placed adjacent to the exterior door. IFC #506.1 and 506.1.1.
- IF there is a change to the FDC connection, GBFD requires that all FDC and Standpipe connections are five inch Storz brand connections. If the FDC or Standpipe connection is higher than 30 inches above finished grade, then you will be required to install thirty degree down angle connection on the five in Storz connection. IFC 903.3.7

If you have any questions please feel free to contact the Green Bay Fire Marshal's Office at (920)448-3289.

Respectfully,

Captain Joe Gabe
Fire Marshal's Office
Green Bay Metro Fire Department
Phone-(920)448-3289
joega@greenbaywi.gov

2C



Trevor Fuller

From: Craig Berndt
Sent: Wednesday, February 15, 2017 2:19 PM
To: Trevor Fuller
Cc: Brad Lange; Kevin Wieland
Subject: CP Center Plan Review

Trevor-

Comments on the CP Center engineering plans with respect to the Planning Commission review.

1. My preliminary thought is that the stormwater treatment design for the project is acceptable with regard to meeting the treatment requirements. Once we receive the post-construction stormwater management permit application we will complete the detailed engineering review. I would suggest that the Planning Commission include a statement that approval is contingent on final approval of the stormwater permit.
2. The stormwater runoff management (storm sewer piping) on the site, and the proposed storm sewer modifications, will need to be reviewed and approved by Public Works. This is part of the detailed stormwater review. For example, some of the site runoff discharges directly to off-site areas and does not receive treatment. Again, approval should be subject to final stormwater permit issuance.
3. The changes to the driveways and roads is acceptable. We only want to ensure that all buildings have adequate access.
4. A new 6" water service is planned to replace the existing 4" service. This will be a CP project cost, including the piping in Waubenoer Drive to tie into the existing main. A Public Works utility permit will need to be obtained prior to this work.
5. Drawings of the underground storage system will be required during stormwater permit issuance.

These are the review items from Public Works. Parking stalls and other building or ordinance details fall under building inspection. Craig

Craig L. Berndt, P.E.
Director, Public Works
Village of Allouez
1900 Libal Street
Green Bay, WI 54301
(920) 448-2800
Craig@villageofallouez.com