

Memo

To: Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: PETITION FROM SURGERY CENTER OF GREEN BAY – SITE PLAN AND DESIGN REVIEW ON PARCEL AL-2127, LOCATED AT 2825 S WEBSTER AVENUE

Date: 22 February 2017

Attached are the proposed plans submitted by the EV Acquisitions, LLC. for the site plan and design review of the proposed development of the Surgery Center of Green Bay at 2825 S. Webster Avenue (see attachments 1A, 1B). A representative from Ayres Associates will be present at the meeting to talk about the project and answer any questions.

Site Plan and Design Review Process

The site plan and design review process is an opportunity for the Village Board and the plan commission members to review and to ensure the plans meet village standards in regards to safety, efficiency, aesthetics, and legal concerns in a public forum. The village cannot consider the use of the parcel as part of the decision in this process, only review if the proposed development meets all site plan and design standards for this zoning district.

The proposed project is for parcels AL-2127, located at 2825 S. Webster Avenue. This parcel is zoned "C" Professional Office and Residence District" and the proposed use is allowed under this zoning classification. The plan commission is asked to review the Surgery center of Green Bay development proposal and determine if the proposed project meets the zoning and design requirements required by the zoning code for this proposed use.

Staff Comments and Recommendation

Staff has reviewed the proposed plans and has provided the representatives from EV Acquisitions, LLC. with comments (see attachments 2A, 2B, 2C, 2D).

Staff recommends the plan commission recommend approval of the petition by the Village Board, should all comments be addressed and necessary permits be filed prior to a final building permit being issued or a reasonable explanation (as determined by staff and the Village Board) as to why these comments were not addressed.

Plan commission is asked to recommend or not to recommend approval of the petition from EV Acquisitions, LLC., requesting a site plan and design review for a development on parcel AL-2127, located at 2825 S. Webster Avenue.

PROJECT NARRATIVE

Surgery Center of Green Bay Ambulatory Surgery Center

Village of Allouez, Wisconsin

Project Team:

Owner

EV Acquisitions, LLC

C/O Titledown Law

222 Cherry Street

Green Bay, WI 54301

Contact: Cynthia Caine Trevelen

Phone: 920-435-9393

Email: CTrevelen@titledownlaw.com

Architecture

Sperides Reiners Architects, Inc.

4200 West Old Shakopee Road

Suite 220

Bloomington, MN 55437

Contact: Nick Sperides

Phone: 952-996-9662

Email: nick@sra-mn.com

Civil Engineer

Ayres Associates

3376 Packerland Drive

Ashwaubenon, WI 54115

Contact: Craig Schuh, PE

Phone: 920-498-0970

Email: SchuhC@AyresAssociates.com

Landscape Architecture

Sperides Reiners Architects, Inc.

Project Site Data:

The site is southeast of the intersection of Wisconsin Highway 172 and Webster Ave South. It is east of the Fox River. The site is 0.72-acres (31,562 SF) accessible from a private drive to the east of the site. Highway 172 is the nearest major connector to the north while downtown Allouez is the major node north of the site. The proposed building is in the center of the site with parking on the west and southeast parts of the site

Use:

The proposed building is an ambulatory surgical center (ASC) serves the Green Bay area with operating rooms and associated staff and patient areas. The ASC will house its operational areas on grade level in approximately 6,750 square feet. Its mechanical space will be placed in its attic space in approximately 1,300 square feet.

The design team is working to resolve a complete exterior material palette with the owner. All materials will be compliant with Allouez Zoning Code 11.29 (9a). Contact architect for previous design study.

Light and light pollution

Parking lot standards will host full cut-off fixtures with less than .5 foot candles reaching the property line in any direction. Building mounted lighting includes full cut-off housings to eliminating glare and unwanted light wash. Architecturally integrated lights are added at the accessible entrances to provide path lighting.

Impact analysis

The ASC will benefit the community and provide a professional environment to care for health in the Green Bay area. Area activities will not be impacted. Its impact to utilities is depicted on the civil engineer's plans. Additionally, circulation is not impacted as the building sits within a buildable site; the street and parking circulation remain intact.

Impact to the surrounding land uses is positive. Surrounding uses include a correctional facility, an aquatic center, and orthodontic practices. These uses likely would benefit from having a state of the art surgical practice in their proximity.

Impact to the environment, noise, and community would also be positive. The ASC structure fills in a gap within the surrounding built-up neighborhood. The ASC weaves into the neighboring community with a hipped roof, high quality construction materials, and integrated mechanical space.

Sustainable Initiatives Summary

Sustainable initiatives are a priority in responsible design practiced and implemented by Sperides Reiners Architects. The ASC will have a variety of daylighting strategies, including building footprint dimensions that allow for the use of exterior windows directly into occupied waiting spaces. Additionally, the building will also integrate efficient systems and envelope designs to maximize its operational efficiencies and economics.

EV Acquisitions LLC
C/O Titletown Law
222 Cherry Street
Green Bay, WI 54301



**Surgery Center of Green Bay
Ambulatory Surgery Center**
Village of Allouez, Wisconsin

Stormwater Management Plan

The Surgery Center of Green Bay is proposing to build a new facility containing approximately 7,000 square feet of level floor space. Additionally, sidewalk and landscaping will be installed around the proposed building along with a generator and dumpster pad. No other site improvements are expected to take place with the exception of a bioretention area which will be constructed in the southwest corner of the site.

Per the Village of Allouez codes and ordinances, this site is exempt from meeting the total suspended solids (TSS) and total phosphorus (TP) reduction requirements for the Fox River TMDL along with peak discharge requirements. The proposed site does not have more than 20,000 square feet of impervious surface disturbance or more than one acre of total land disturbance. Although the site is not required to meet the listed reduction levels, the bioretention area serves as an appropriate best management practice (BMP) in order to reduce TSS and TP loading as well as peak discharges.

The bioretention area shall be maintained and warranted by the Contractor for a duration of two years after installation. Maintenance activities include; but are not limited to: erosion control repair, weed control, trash removal, plant replacements as necessary, biomass cutting and removal at the end of the season. Following the two-year warranty period, the property owners will accept all maintenance responsibilities.



2825 S WEBSTER AVE
ALLOUEZ, WI 54301

OWNER:
EV ACQUISITIONS, LLC
C/O TITLETOWN LAW
222 CHERRY STREET
GREEN BAY, WI 54301
CONTACT: CYNTHIA CAINE TREVELEN
PHONE: 920-435-9393
CTREVELEN@TITLETOWNLAW.COM

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NICK SPERIDES
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SPERIDES REINERS ARCHITECTS, INC.

TBD

AYRES ASSOCIATES
3376 PACKERLAND DRIVE
ASHWAUBENON, WI 54115
CRAIG SCHUH
PHONE: 920-498-0970
SCHUHC@AYRESASSOCIATES.COM

AYRES ASSOCIATES

A black and white architectural line drawing of a modern, single-story building. The building features a flat roof with a prominent overhang. The facade is composed of large, multi-paned windows and solid wall sections. On the left side, there is a small entrance area supported by two thick, square columns. The building is set on a flat, paved surface, and the background is a simple, light-colored sky.

[illegible]

A0.0	TITLE SHEET
**	PHOTOMETRIC STUDY FULL SITE OPTION
***	PHOTOMETRIC STUDY ASC SITE OPTION

C1.0	PROPERTY IDENTIFICATION PLAN
C2.0	EROSION CONTROL PLAN
C3.0	GRADING AND STORMWATER MA
C4.0	UTILITIES PLAN
C5.0	CIVIL CONSTRUCTION DETAILS

L1	LANDSCAPE PLAN
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A1.0	ARCHITECTURAL SITE PLAN
A1.1	SITE PLAN DETAILS
A2.0	PRELIMINARY PLANS
A3.0	ELEVATIONS

A2	COLOR ELEVATIONS WEST & SOUTH
A3	COLOR ELEVATIONS EAST & NORTH
A4	VIEW - SOUTHWEST CORNER

THE PROPOSED BUILDING IS AN AMBULATORY SURGICAL CENTER (ASC) SERVES THE GREEN BAY AREA WITH OPERATING ROOMS AND ASSOCIATED STAFF AND PATIENT AREAS. THE ASC WILL HOUSE ITS OPERATIONAL AREAS ON GRADE LEVEL IN APPROXIMATELY 6,750 SQUARE FEET. ITS MECHANICAL SPACE WILL BE PLACED IN ITS ATTIC SPACE IN APPROXIMATELY 1,300 SQUARE FEET.

SURGERY CENTER
OF GREEN BAY

2828 S WEBSTER AVENUE
ALLOUEZ, WI 54301

TITLE SHEET

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

A0.0

SRA

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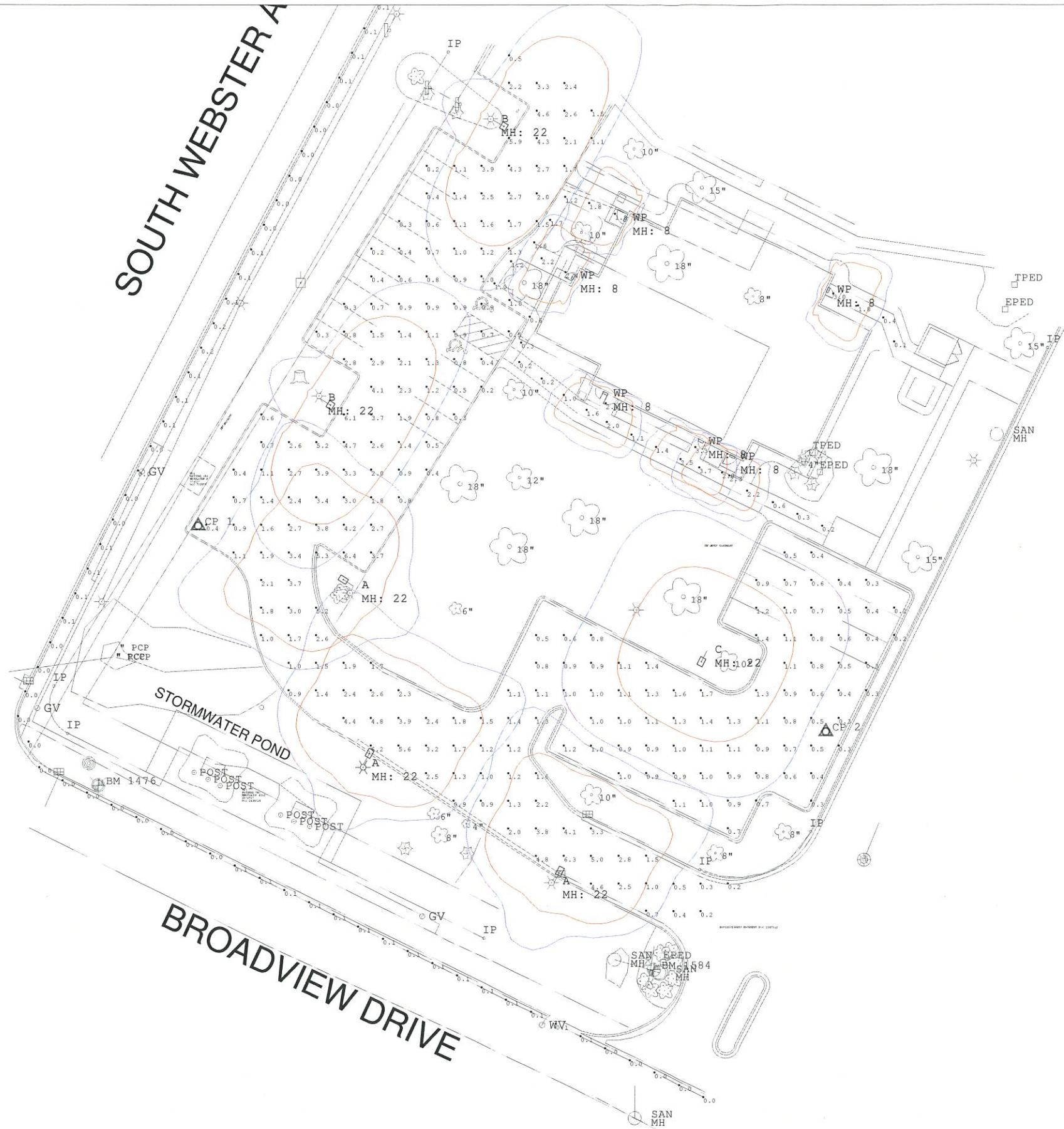
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PLAN

NORTH



NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
NE sidewalk	Illuminance	Fc	1.33	3.0	0.1	13.30
NW sidewalk	Illuminance	Fc	1.81	2.4	1.2	1.51
Parking Lot	Illuminance	Fc	1.64	6.4	0.2	8.20
Roadway Edge	Illuminance	Fc	0.05	0.2	0.0	N.A.
SW Sidewalk	Illuminance	Fc	1.44	3.7	0.2	7.20

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts
	3	A	SINGLE	12463	0.900	ASL-16L-5K-210-4	123.8
	2	B	SINGLE	12175	0.900	ASL-16L-5K-210-3	123.8
	1	C	SINGLE	12283	0.900	ASL-16L-5K-210-5	123.8
	6	WP	SINGLE	1442	0.900	LNC-7LU-5K-4	17.4

Surgery Center of GB

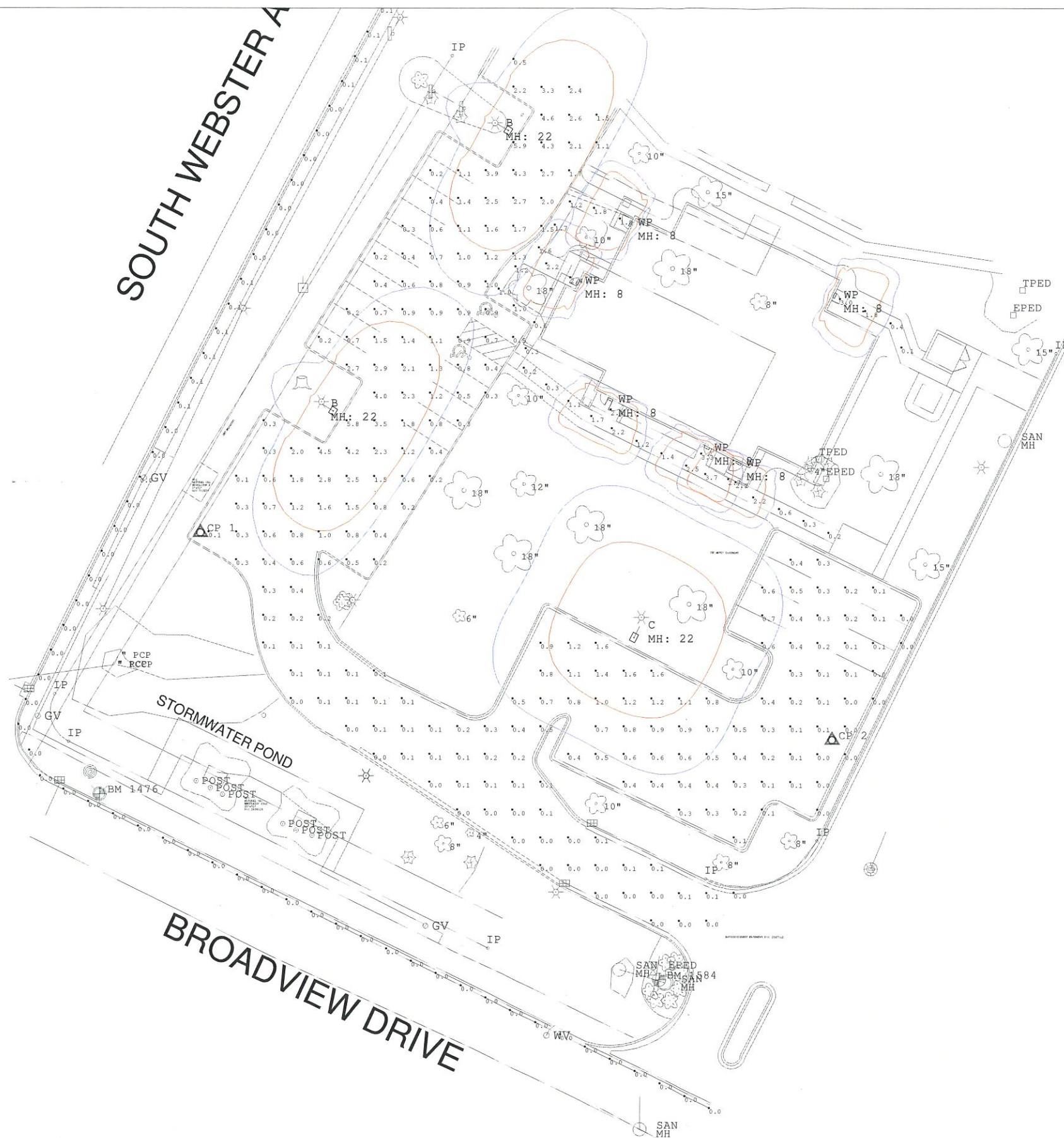
Site

Drawn By: A/S
Checked By:
Date: 2/6/2017

Revisions		
#	Date	Comments

MLAZGAR ASSOCIATES
720 Larry Ct.
Waukesha, WI 53186
(p) 414-943-1915
www.mlazgar.com





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
NE sidewalk	Illuminance	Fc	1.33	3.0	0.1	13.30	30.00
NW sidewalk	Illuminance	Fc	1.81	2.4	1.2	1.51	2.00
Parking Lot	Illuminance	Fc	0.79	5.9	0.0	N.A.	N.A.
Roadway Edge	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.
SW Sidewalk	Illuminance	Fc	1.46	3.7	0.2	7.30	18.50

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
—□	2	B	SINGLE	12175	0.900	ASL-16L-5K-210-3
—□	1	C	SINGLE	12283	0.900	ASL-16L-5K-210-5
□	5	WD	SINGLE	14402	0.900	INC 71115K
						17.4

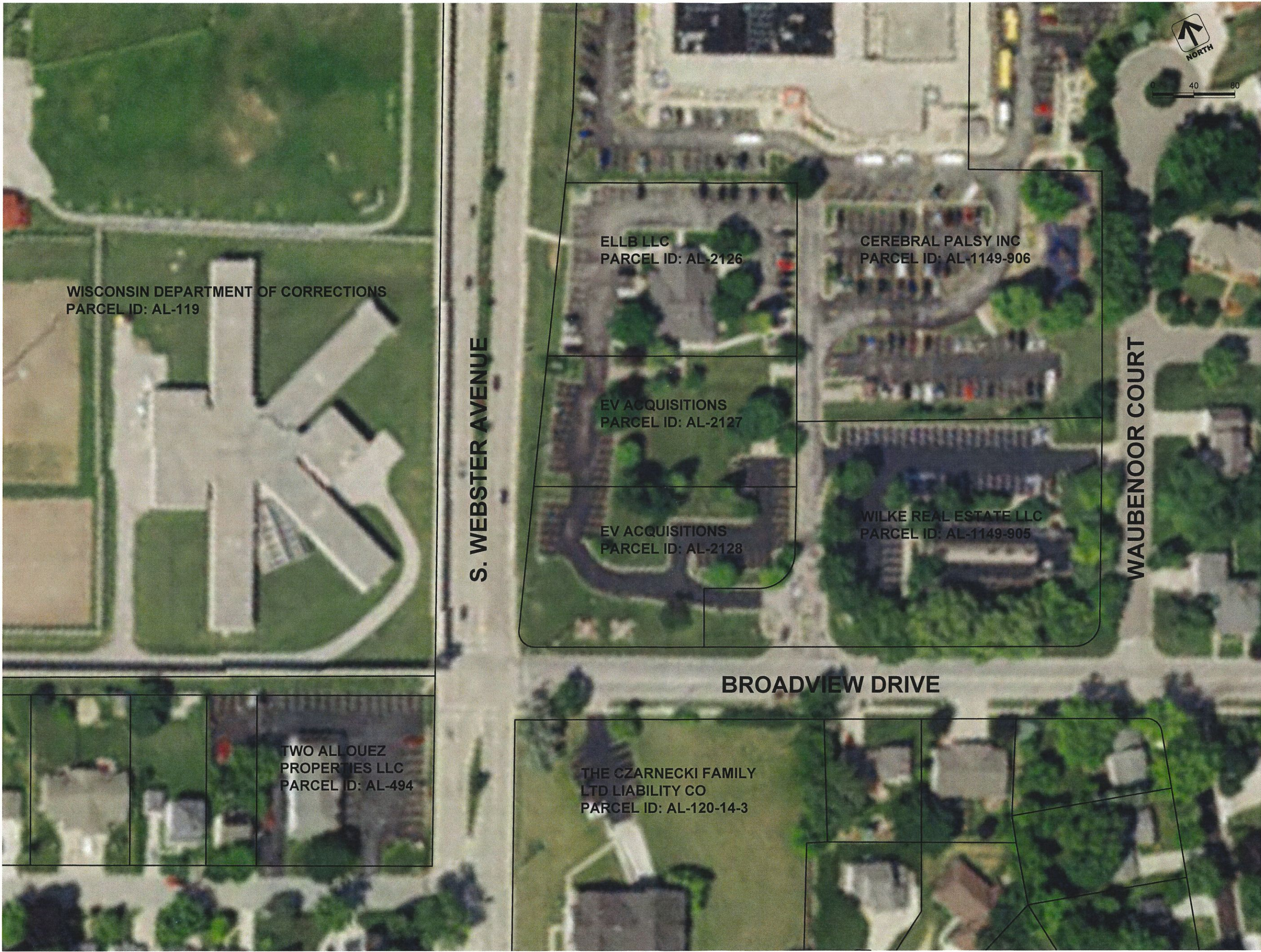
Site

Drawn By: AJS
Checked By:
Date: 2/10/2017
Scale: 1" = 20'

#	Date	Comments

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SURGERY CENTER
OF GREEN BAY
2825 S.WEBSTER AVENUE
ALLOUEZ, WI 54301

• PROPERTY
IDENTIFICATION
PLAN

PROJECT NO: 16-064
DRAWN BY: A.E.
CHECKED BY: C.S.

C1.0

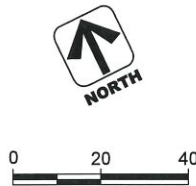
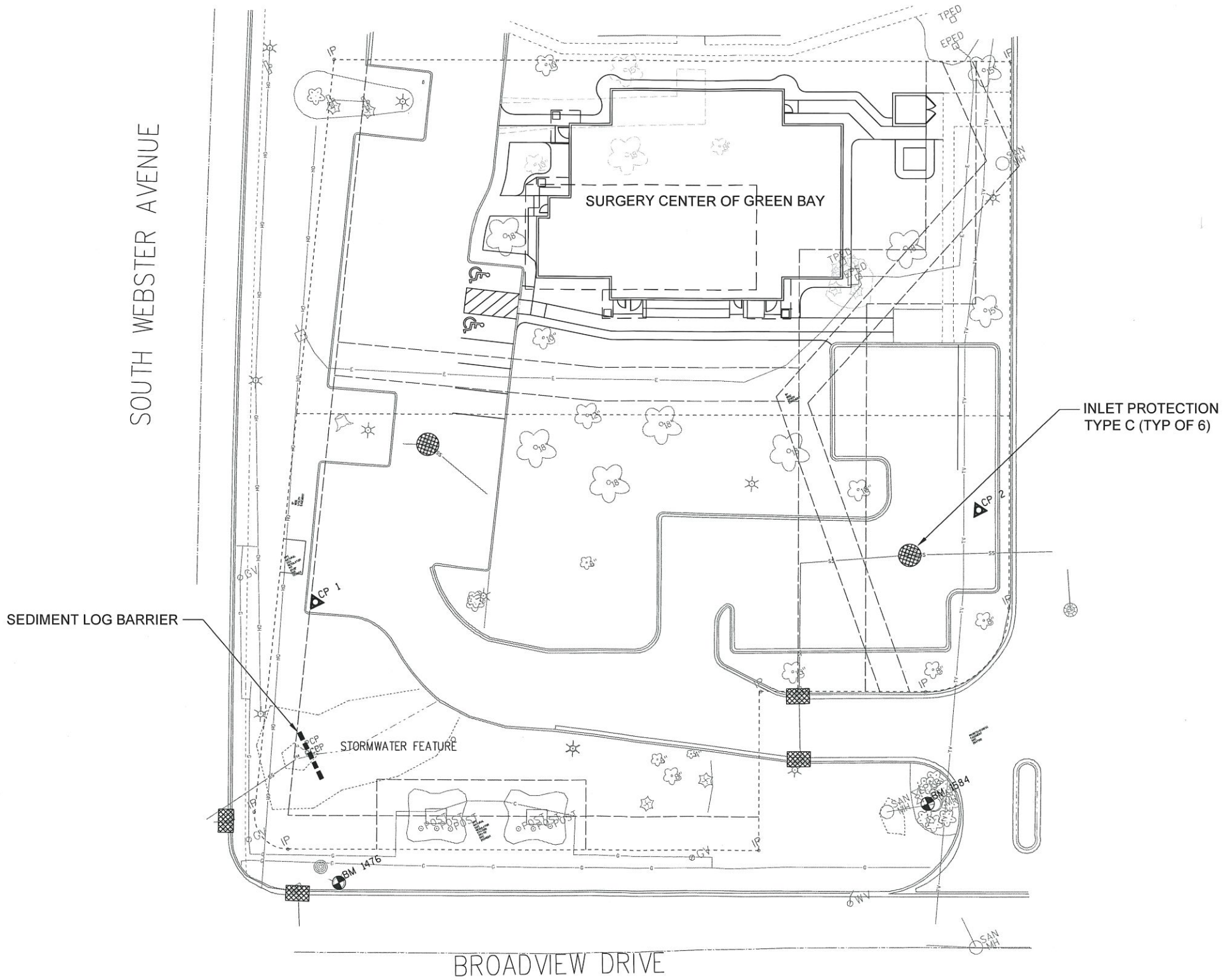
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SURGERY CENTER OF GREEN BAY

2825 S. WEBSTER AVENUE
ALLOUEZ, WI 54301

• EROSION
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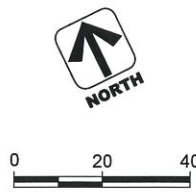
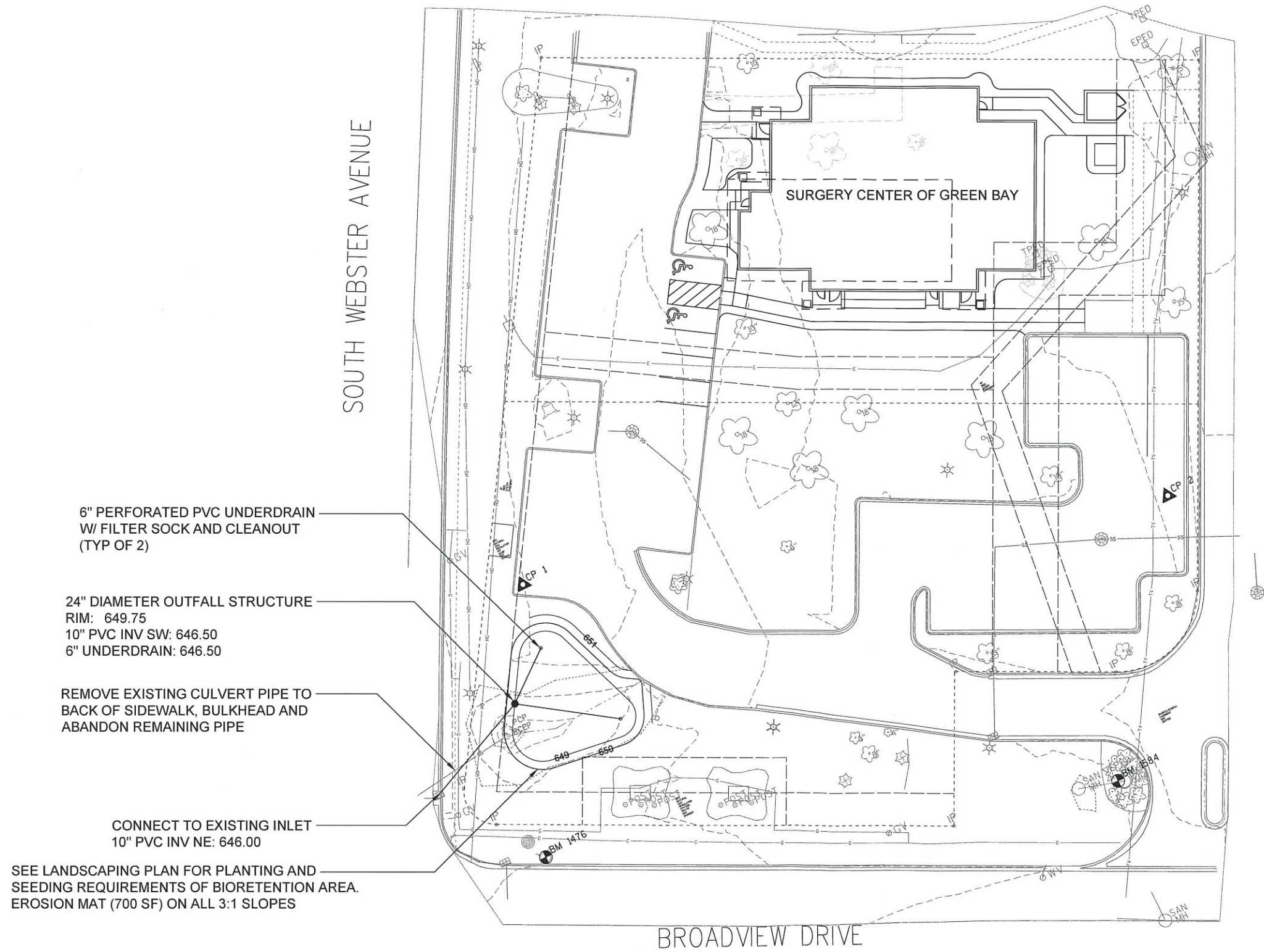
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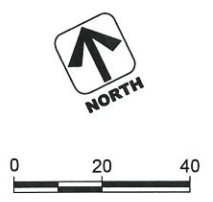
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**SURGERY CENTER
OF GREEN BAY**
2825 S. WEBSTER AVENUE
ALLOUEZ, WI 54301

• GRADING
AND
STORMWATER
MANAGEMENT
PLAN

PROJECT NO: 16-064
DRAWN BY: A.E.
CHECKED BY: C.S.

C3.0



C4.0

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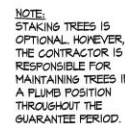
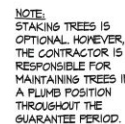
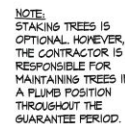
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PLAN SYMBOL		QUANTITY CODE
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SEED MIXTURES

RAIN GARDEN PLANTING PROFILE

A. RAIN GARDEN EDGES AND SLOPES		
#	NAME	SCIENTIFIC NAME
1	BUTTERFLY FLOWER	ASCLEPIAS TUBEROSA
2	PURPLE PRAIRIE CLOVER	DALEA PURPUREUM
3	FEATHER REED GRASS	CALAMOGROSTIS 'KARL FOERSTER'
4	PURPLE CONEFLOWER	ECHINACEA PURPUREA
5	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
6	OBEDIENT PLANT	PHYSTOSTEGIA VIRGINIANUM

B. RAIN GARDEN BOTTOMS		
#	NAME	SCIENTIFIC NAME
1	JOE-PYE WEED	EUPATORIUM MACULATUM
2	CARDINAL FLOWER	LOBELIA CARDINALIS
3	PINK TURTLEHEAD	CHELONE SPP.
4	VIRGINIA BLUEBELLS	MERTENSIA VIRGINIANA
5	SWITCHGRASS 'HEAVY METAL'	PANICUM VIRGATUM 'HEAVY METAL'

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4	VIRGINIA BLUEBELLS	MERTENSIA VIRGINIANA
5	SWITCHGRASS 'HEAVY METAL'	PANICUM VIRGATUM 'HEAVY METAL'

LANDSCAPING:

VILLAGE OF ALLOUEZ
ZONING CODE 11.29 (10-8)

AT LEAST 20 PERCENT OF THE TOTAL LOT AREA
SHALL REMAIN OPEN SPACE

TOTAL PARCEL AREA:	31,562 SF	
BUILDING AREA:	7,050 SF	/ 22%
PAYEMENT AREA:	10,752 SF	/ 34%
GRASS & LANDSCAPED AREA:	13,760 SF	/ 44%

REQUIRED LANDSCAPE

- I. ONE (1) TREE PER DUELLING UNIT.
(41)
- II. ONE (1) TREE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA, AND ANY FRACTION THEREOF, FOR NONRESIDENTIAL USES.
 $(8060 \div 1000 = 8)$
- III. ONE (1) TREE PER EVERY EIGHT (8) PARKING STALLS.
 $(10 \div 8 = 1.25) (1.25 \text{ FOR PARKING SOUTH OF SITE})$
- IV. ONE (1) STREET TREE FOR STREET FRONTAGES GREATER THAN 100 FEET.
(127 LF FRONTAGE = 4)
(TOTAL 15 TREES REQUIRED)

PROVIDED LANDSCAPE

EXISTING: 5 TREES (+3 EXISTING SOUTH OF SITE)
ADDITIONAL: 7 TREES

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

SRA **SPERIDES REINERS ARCHITECTS, INC.**

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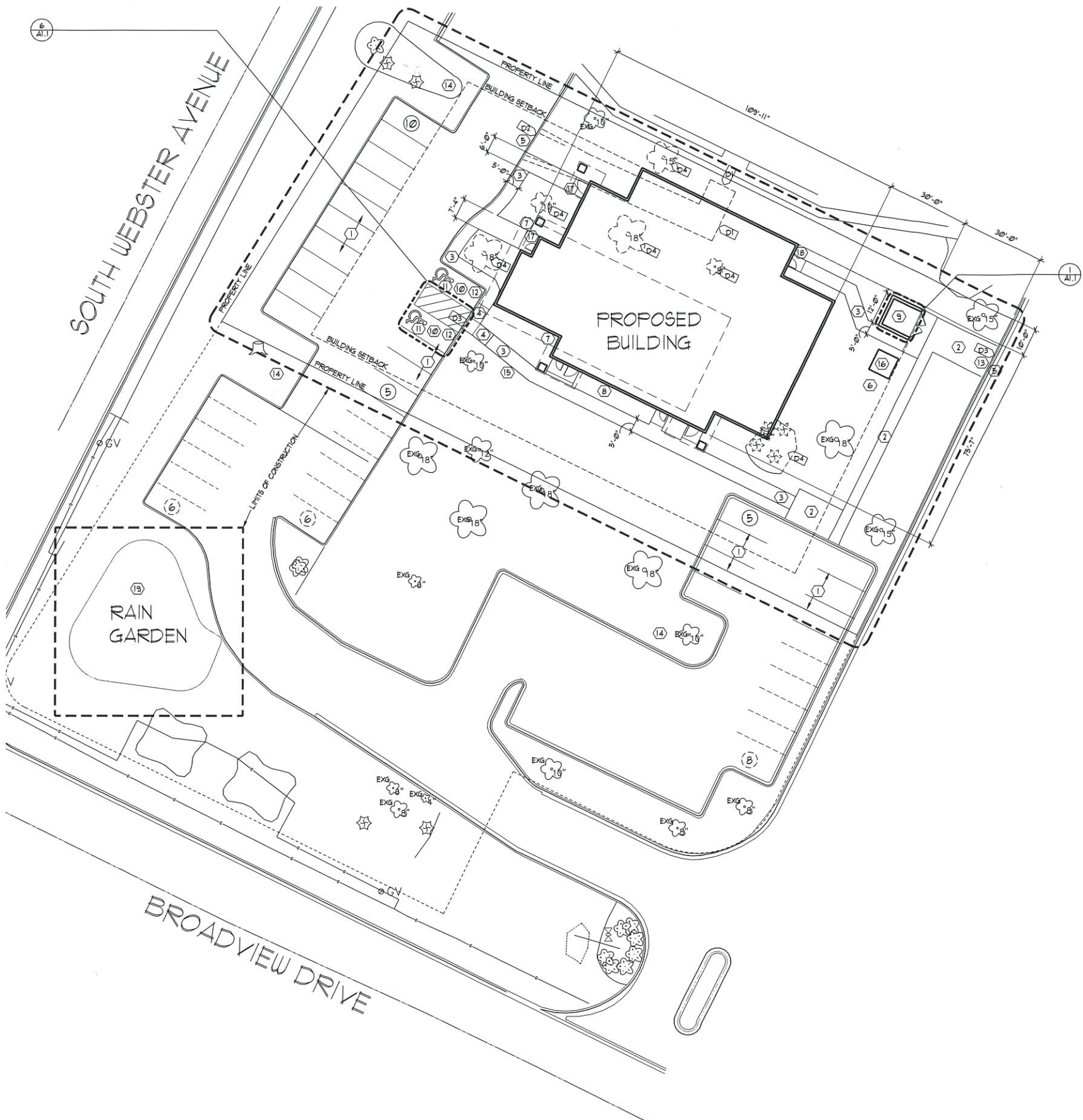
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	01.11.2017	△ SCHEMATIC DESIGN
	02.10.2017	△ CITY SUBMITTAL
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SURGERY CENTER
OF GREEN BAY
2825 S.WEBSTER AVENUE
ALLOUEZ, WI 54301

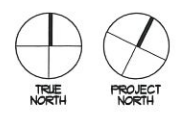
- LANDSCAPE PLAN

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

L1



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"



GENERAL SITE PLAN NOTES:

1. BEARING, DIMENSIONS, AND EASEMENTS SHOWN HEREON ARE FOR REFERENCE ONLY. REFER TO PROJECT ALTA/ASCH LAND TITLE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND VERIFICATION OF REFERENCED INFORMATION.
2. G.C. TO COORDINATE ALL DIMENSIONS WITH SURVEY AND CIVIL DRAWINGS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES.
3. ALL AREAS NOT OTHERWISE NOTED SHALL BE LANDSCAPED. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
4. EXISTING TREES SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. PROTECT TREES WITH FENCING WHERE CAPABLE PLACE AT THE DRIP LINE OF THE TREE. MAINTAIN CLEARANCE FOR CITY STREET SNOW REMOVAL. ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL.
5. THE CONTRACTOR SHALL CONTACT ALL PUBLIC UTILITIES FOR LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES, OR OTHER BURIED STRUCTURES BEFORE DIGGING. CONTACT DIGGERS HOTLINE (800) 242-8811. CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED. ALL ROADWAY PAVEMENT, SIDEWALK, AND CURB & GUTTER REMOVED DURING UTILITY INSTALLATION SHALL BE REPLACED WITH EQUIVALENT SECTIONS AS REQUIRED. ANY WORK DONE TO SIDEWALKS AND CURBS WITHIN THE PUBLIC RIGHT OF WAY MUST BE DONE TO CITY STANDARDS AND SPECIFICATIONS.
6. ANY DAMAGE TO ADJACENT SIDEWALKS, CURBS, OR PAVEMENT MUST BE REPAIRED TO MATCH MATERIALS OF CURRENT CONDITION.
7. ALL EXISTING CONDITIONS SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION, WHETHER OR NOT NOTED ON DEMOLITION PLAN.
8. PROVIDE A SAFE PASSAGE THROUGH AND/OR AROUND CONSTRUCTION SITE AS REQUIRED. COORDINATE WITH EXISTING NEIGHBORING PROPERTY MANAGERS AND VILLAGE STAFF AS REQUIRED.

DEMOLITION KEYED NOTES:

- D1 SAWCUT SIDEWALK AND REMOVE.
- D2 REMOVE CURB AND GUTTER.
- D3 REMOVE CURB AT NEAREST JOINT. PREPARE EXISTING CURB FOR SLOPED CONCRETE FLATWORK.
- D4 EXISTING TREES TO BE REMOVED.

SITE PLAN KEYED NOTES:

- 1 EXISTING ASPHALT PAVING, TO REMAIN. RESTRIPE PAVEMENT AS REQUIRED.
- 2 EXISTING CONCRETE WALK, TO REMAIN.
- 3 CONCRETE SIDEWALK. SLOPE AWAY FROM THE BUILDING. SLOPE TO BE GREATER THAN 1:100 AND NO STEEPER THAN 1:48.
- 4 ACCESSIBLE RAMP W/ DETECTABLE WARNING ALONG ACCESSIBLE ROUTES (TYP.). SLOPE TO BE GREATER THAN 1:20 AND NO STEEPER THAN 1:12.
- 5 CONCRETE CURB. SEE CIVIL FOR LOCATIONS & DETAILS.
- 6 PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE W/ P.A., ANY OTHER LOCATIONS).
- 7 PROJECTED BUILDING OVERHANG, ABOVE (SHOWN DASHED).
- 8 GAS METER. COORDINATE WITH MECHANICAL.
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- 10 ACCESSIBLE PARKING SPACES AND THEIR ACCESS AISLES SHALL BE 1 1/2% (2% MAX.) SLOPE IN ALL DIRECTIONS.
- 11 PAINTED ACCESSIBLE PARKING SYMBOL TO MEET ALL GOVERNING CODES.
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- 13 CONFIRM SLOPE AT PAVEMENT WITH TRASH COMPANY.
- 14 LIGHT POLE (TYPICAL). QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTOMETRICS.
- 15 BIKE RACK, DERO ROLLING RACK RRH OR EQUAL. COLOR: TBD.
- 16 EMERGENCY GENERATOR. COORDINATE WITH ELECTRICIAN AND MEDICAL EQUIPMENT SUPPLIER.
- 17 AUTOMATIC DOOR OPERATOR SWITCH ON SQUARE BOLLARD POST, MINIMUM 5'x5". BOLLARD TO BE SURFACE-MOUNTED TO OUTSIDE EDGE OF CONCRETE STOOP. BOLLARD TO BE FINISHED TO MATCH BUILDING EXTERIOR MATERIAL. SEE ENLARGED FLOOR PLAN AND DOOR HARDWARE.
- 18 PRELIMINARY MEDGAS LOCATION. COORDINATE WITH MEDICAL EQUIPMENT SUPPLIER.
- 19 RAINGARDEN. SEE CIVIL DRAWINGS FOR GRADING AND UTILITIES.

PARKING REQUIREMENTS:

PROPOSED BUILDING FOOTPRINT AREA = 6,760 SQ. FT.
BUILDING AREA W/ MEZZANINE = 8,060 SQ. FT.
PARKING REQUIRED = 1 PER 200 SQ. FT. = 40 STALLS
PARKING PROVIDED = 40 STALLS
20 STALLS ON SITE & 20 STALLS IN VICINITY
CONFORMS TO VILLAGE OF ALLOUEZ ZONING 11.13 (K)
SHALL RECEIVE ONE SPACE FOR EACH 200 SF OF FLOOR AREA

ADA PARKING SPACES: 6 VAN ACCESSIBLE = 2 SPACES PROVIDED

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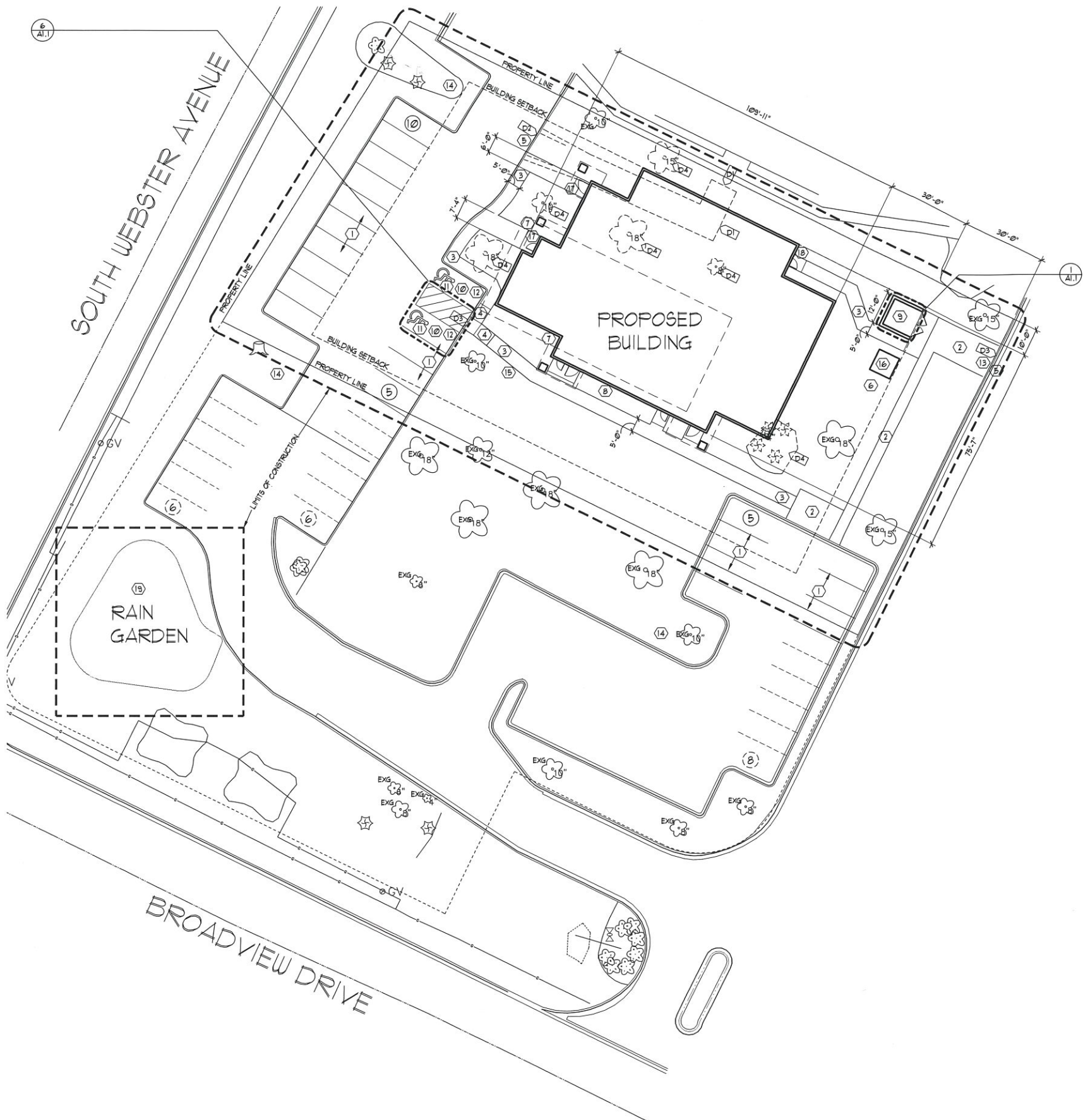
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**SURGERY CENTER
OF GREEN BAY**
2825 S. WEBSTER AVENUE
ALLOUEZ, WI 54301

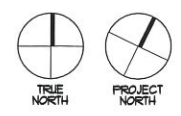
ARCHITECTURAL
SITE PLAN

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

A1.0



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"



GENERAL SITE PLAN NOTES:

1. BEARING, DIMENSIONS, AND EASEMENTS SHOWN HEREON ARE FOR REFERENCE ONLY. REFER TO PROJECT ALTA/SUCH LAND TITLE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND VERIFICATION OF REFERENCED INFORMATION.
2. G.C. TO COORDINATE ALL DIMENSIONS WITH SURVEY AND CIVIL DRAWINGS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES.
3. ALL AREAS NOT OTHERWISE NOTED SHALL BE LANDSCAPED. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
4. EXISTING TREES SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. PROTECT TREES WITH FENCING WHERE CAPABLE PLACE AT THE DRIP LINE OF THE TREE. MAINTAIN CLEARANCE FOR CITY STREET SNOW REMOVAL. ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL.
5. THE CONTRACTOR SHALL CONTACT ALL PUBLIC UTILITIES FOR LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES, OR OTHER BURIED STRUCTURES BEFORE DIGGING. CONTACT DIGGERS HOTLINE (800) 242-9511. CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED. ALL ROADWAY PAVEMENT, SIDEWALK, AND CURB & GUTTER REMOVED DURING UTILITY INSTALLATION SHALL BE REPLACED WITH EQUIVALENT SECTIONS AS REQUIRED. ANY WORK DONE TO SIDEWALKS AND CURBS WITHIN THE PUBLIC RIGHT OF WAY MUST BE DONE TO CITY STANDARDS AND SPECIFICATIONS.
6. ANY DAMAGE TO ADJACENT SIDEWALKS, CURBS, OR PAVEMENT MUST BE REPAIRED TO MATCH MATERIALS OF CURRENT CONDITION.
7. ALL EXISTING CONDITIONS SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION, WHETHER OR NOT NOTED ON DEMOLITION PLAN.
8. PROVIDE A SAFE PASSAGE THROUGH AND/OR AROUND CONSTRUCTION SITE AS REQUIRED. COORDINATE WITH EXISTING NEIGHBORING PROPERTY MANAGERS AND VILLAGE STAFF AS REQUIRED.

DEMOLITION KEYED NOTES:

- D1 SAWCUT SIDEWALK AND REMOVE.
- D2 REMOVE CURB AND GUTTER.
- D3 REMOVE CURB AT NEAREST JOINT. PREPARE EXISTING CURB FOR SLOPED CONCRETE FLATWORK.
- D4 EXISTING TREES TO BE REMOVED.

SITE PLAN KEYED NOTES:

- 1 EXISTING ASPHALT PAVING, TO REMAIN. RESTRIPE PAVEMENT AS REQUIRED.
- 2 EXISTING CONCRETE WALK, TO REMAIN.
- 3 CONCRETE SIDEWALK. SLOPE AWAY FROM THE BUILDING. SLOPE TO BE GREATER THAN 1:100 AND NO STEEPER THAN 1:40.
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ADA PARKING SPACES: 6 VAN ACCESSIBLE = 2 SPACES PROVIDED

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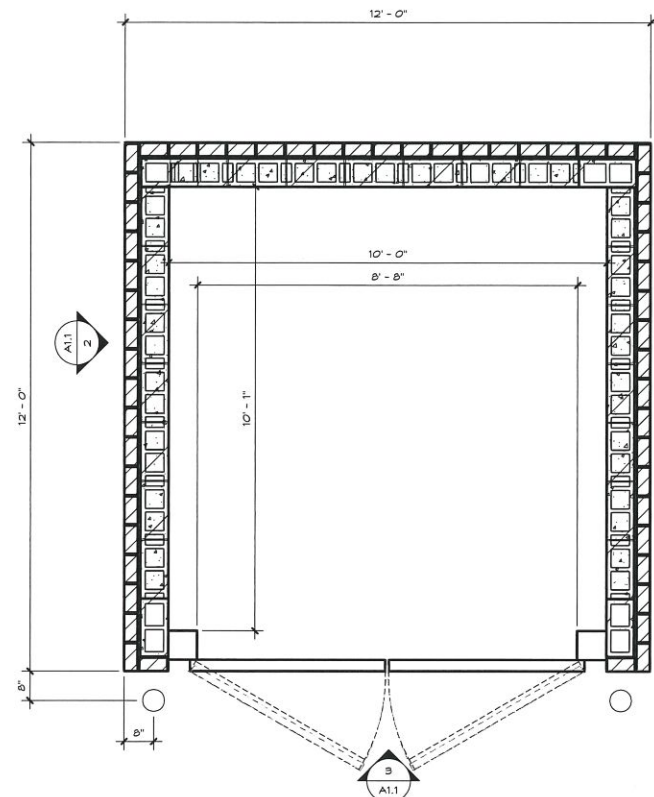
ISSUE:	01.10.2017	SCHEMATIC DESIGN
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**SURGERY CENTER
OF GREEN BAY**
2895 S. WEBSTER AVENUE
ALLOUEZ, WI 54301

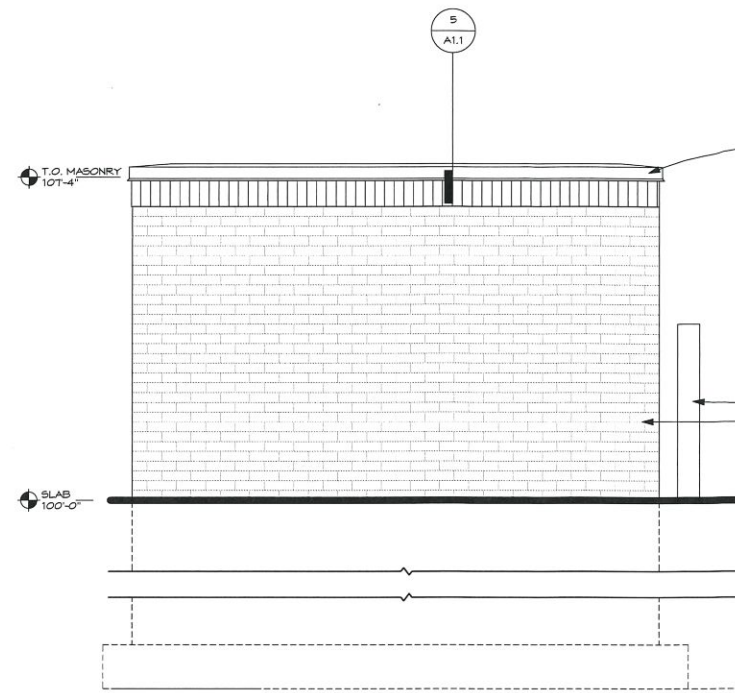
ARCHITECTURAL
SITE PLAN

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

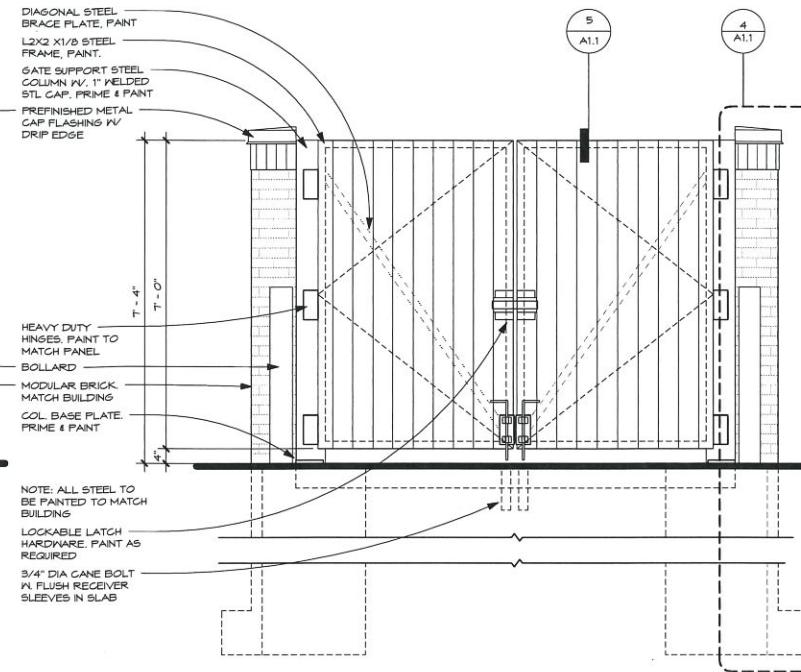
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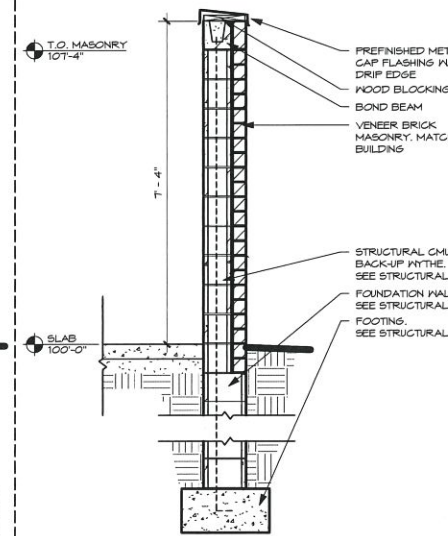
1 PLAN - TRASH ENCLOSURE
A1.1 1/2" = 1'-0"



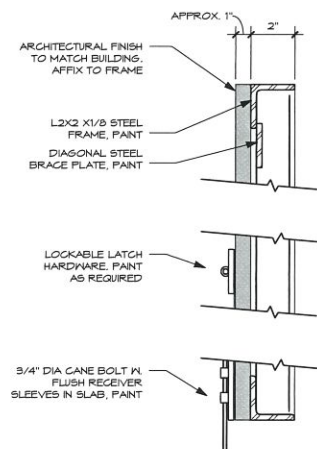
2 ELEVATION - TRASH ENCLOSURE TYPICAL
A1.1 1/2" = 1'-0"



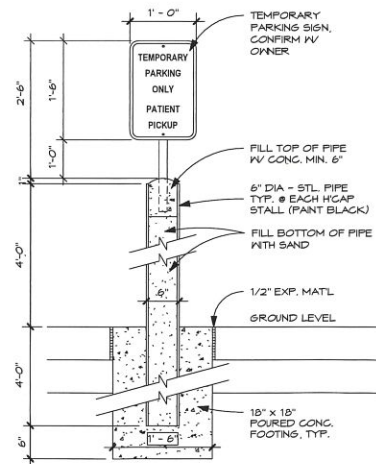
3 ELEVATION - TRASH ENCLOSURE GATE
A1.1 1/2" = 1'-0"



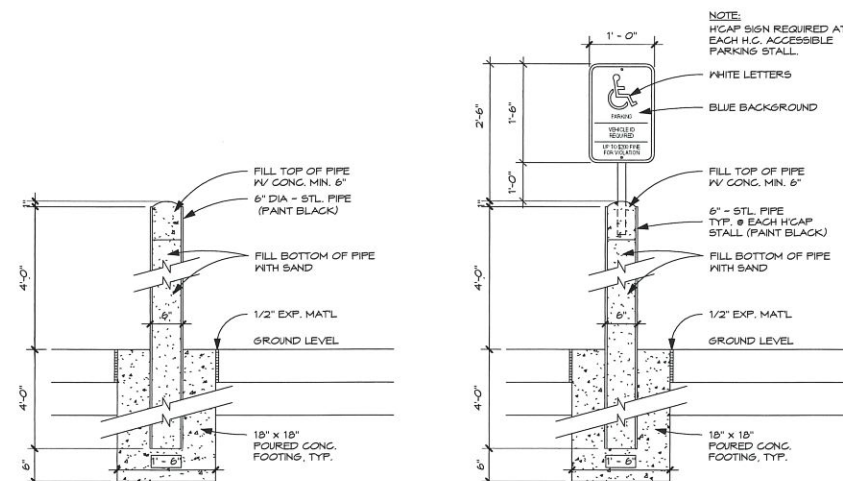
4 SECTION - TRASH ENCLOSURE
A1.1 1/2" = 1'-0"



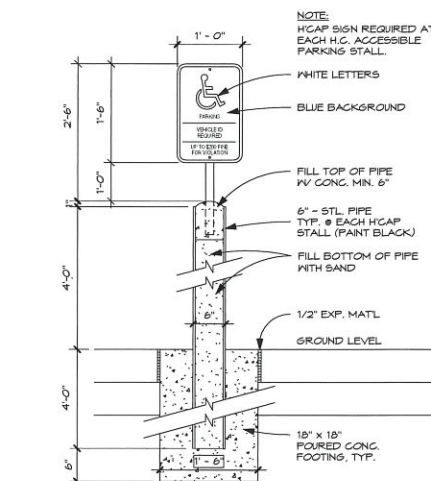
5 SECTION DETAIL - TRASH ENCLOSURE GATE
A1.1 3" = 1'-0"



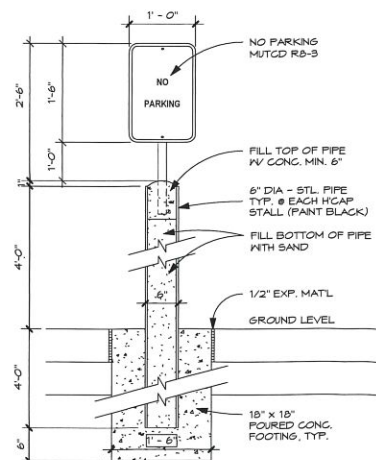
6 PATIENT PICKUP PARKING SIGN
A1.1 3/4" = 1'-0"



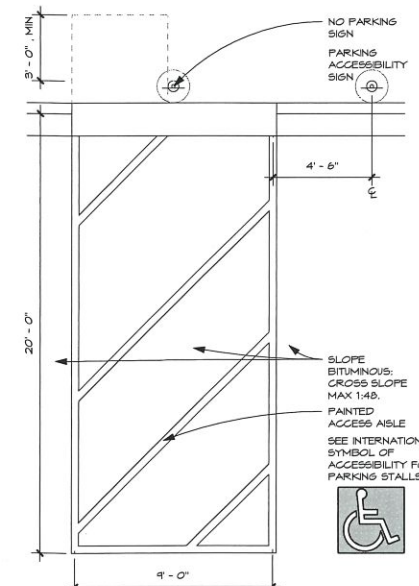
7 BOLLARD DETAIL
A1.1 3/4" = 1'-0"



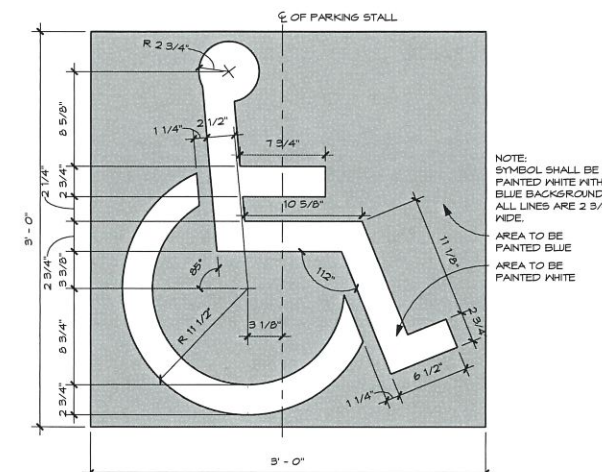
8 PARKING ACCESSIBILITY SIGN
A1.1 3/4" = 1'-0"



9 NO PARKING SIGN
A1.1 3/4" = 1'-0"



10 ACCESSIBLE AISLE DETAIL
A1.1 1/4" = 1'-0"



11 INTERNATIONAL SYMBOL OF ACCESSIBILITY FOR PARKING STALLS
A1.1 1 1/2" = 1'-0"



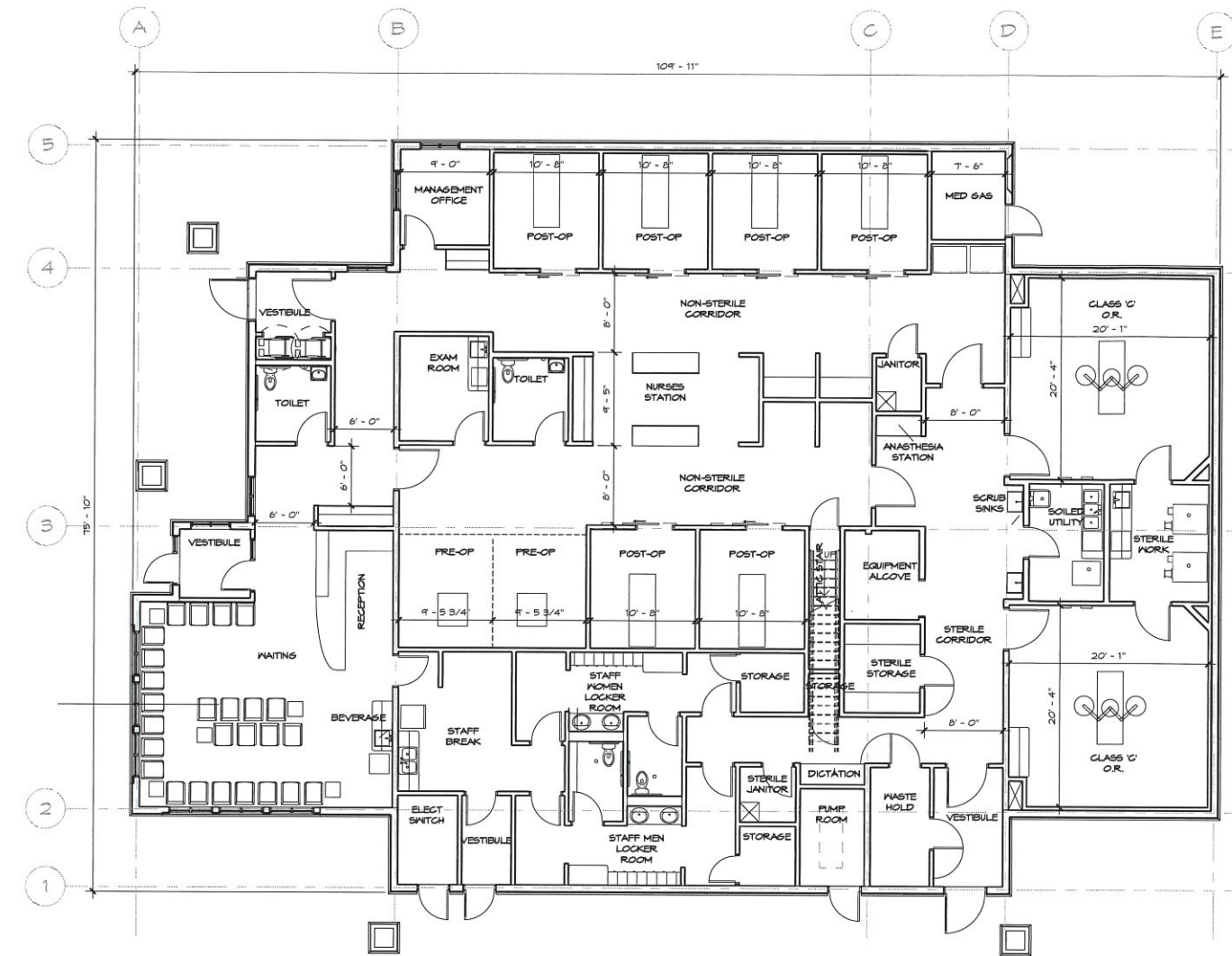
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ISSUE #	01.10.2017
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SURGERY CENTER OF GREEN BAY

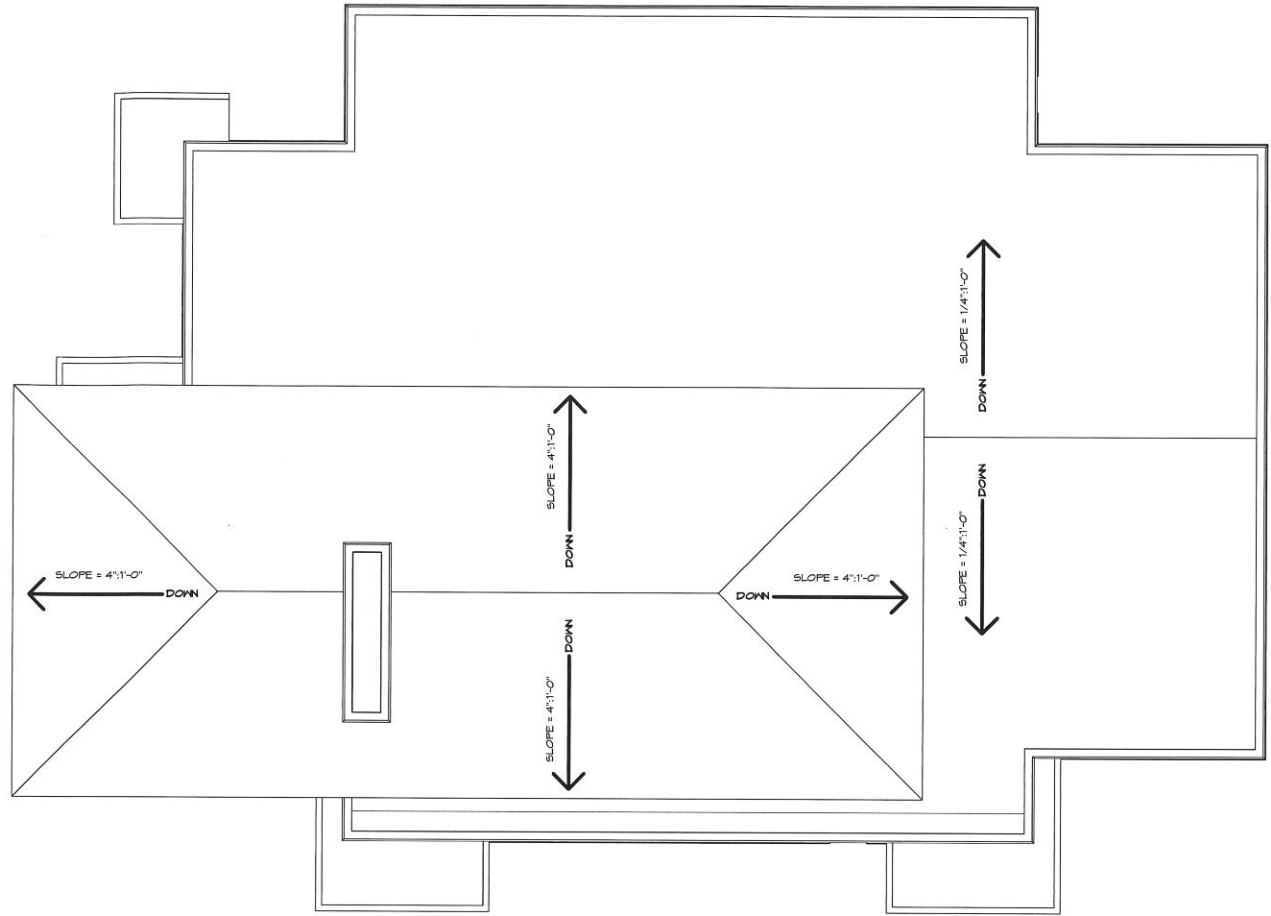
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ALLOUEZ, WI 54301

SITE PLAN DETAILS

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.



1 PRELIMINARY FLOOR PLAN
A2.0 1/8" = 1'-0"



2 ROOF PLAN
A2.0 1/8" = 1'-0"



SURGERY CENTER OF GREEN BAY

2828 S WEBSTER AVENUE
ALLOUÉZ, WI 54301

PRELIMINARY PLANS

PROJECT NO: 16-064
DRAWN BY: EM
CHECKED BY: NS

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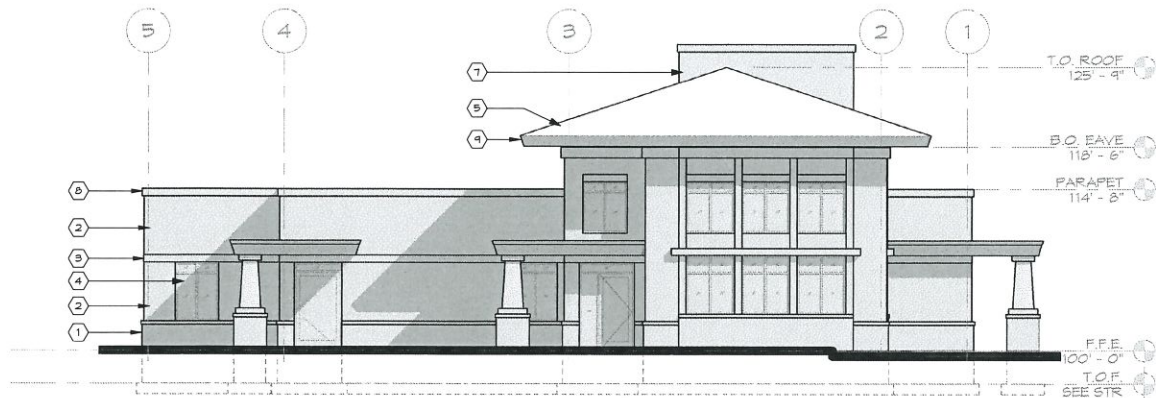
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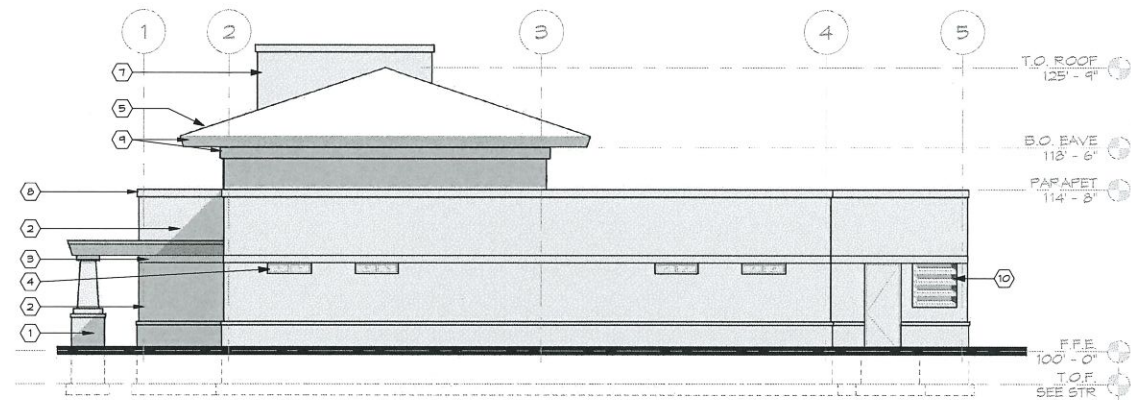
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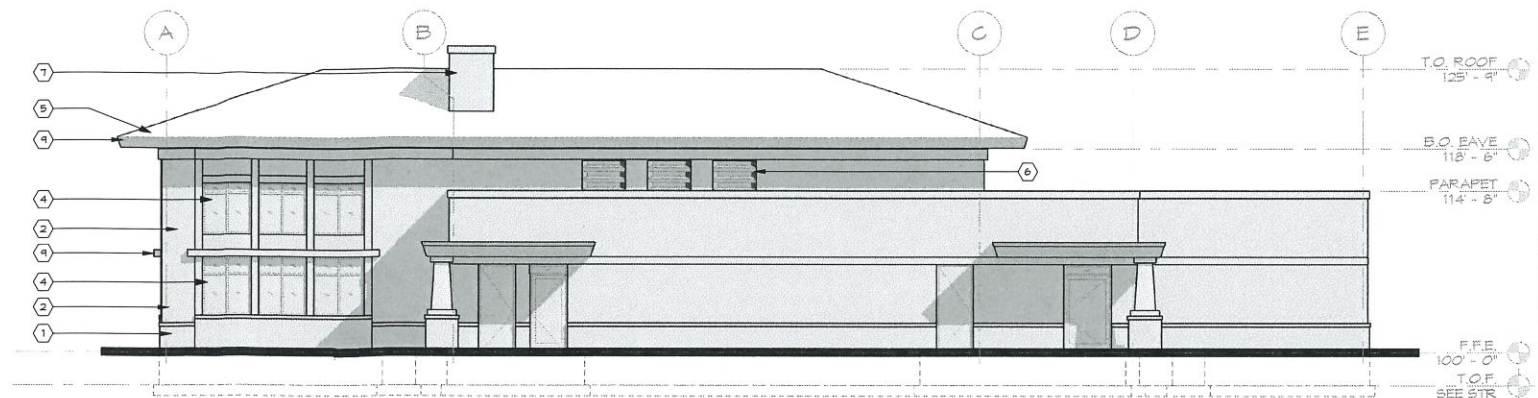
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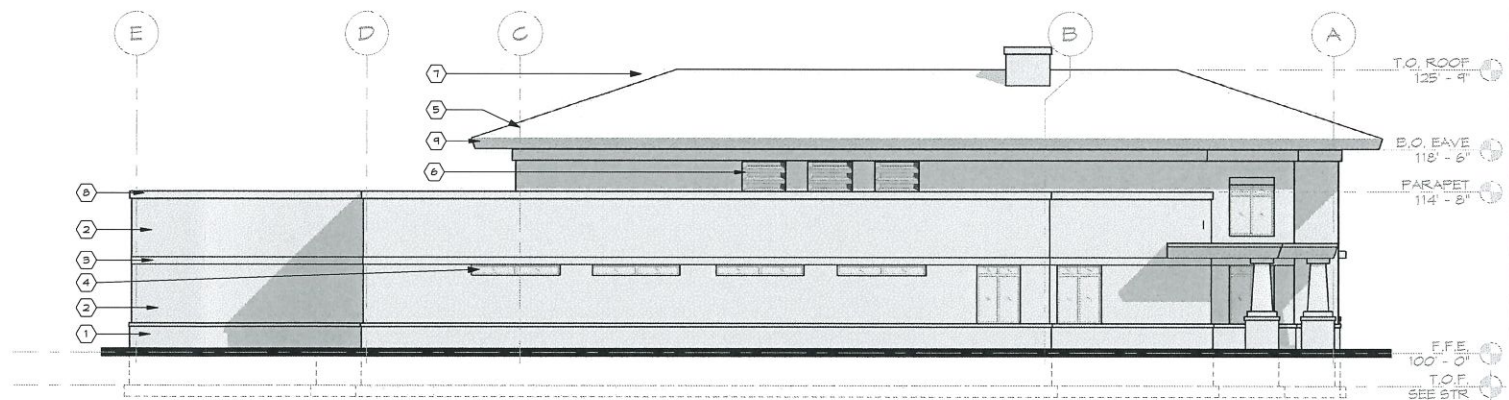
1 WEST ELEVATION
A3.0
1/8" = 1'-0"



3 EAST ELEVATION
A3.0
1/8" = 1'-0"



2 SOUTH ELEVATION
A3.0
1/8" = 1'-0"



4 NORTH ELEVATION
A3.0
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

ALL MATERIAL TO COMPLY WITH ALLOUEZ ZONING CODE 11.29 (4A)

- 1 WALL BASE MATERIAL - STONE.
TYPE, COLOR, & PATTERN TO BE DETERMINED
- 2 EXTERIOR WALL FINISH #1.
TYPE, COLOR, & PATTERN TO BE DETERMINED
- 3 EXTERIOR WALL FINISH #2.
TYPE, COLOR, & PATTERN TO BE DETERMINED
- 4 ALUMINUM STOREFRONT SYSTEM.
COLOR - TO BE DETERMINED
- 5 ROOF SHINGLES. COLOR TO BE DETERMINED.
- 6 PREFINISHED METAL MECHANICAL LOUVERS.
- 7 MECHANICAL VENT STACK. TO MATCH WALL BASE MATERIAL.
- 8 PREFINISHED METAL ROOF EDGE.
COLOR TO BE DETERMINED
- 9 PREFINISHED METAL FASCIA.
COLOR TO BE DETERMINED
- 10 MEDGAS ACCESS PANEL.

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**SURGERY CENTER
OF GREEN BAY**

2828 S WEBSTER AVENUE
ALLOUEZ, WI 54301

ELEVATIONS

PROJECT NO: 16-064
DRAWN BY: EM.
CHECKED BY: NS.

A3.0

Site Plan & Design Review – Staff Comments

Site: 2825 S Webster Avenue (Parcel AL-2127)

Development: Surgery Center of Green Bay

Developer: Sperides Reiners Architects, Inc.
Ayres Associates

- Zoning Department review:

Zoning district		"C" Professional Office and Residence District		
Building use (allowed)		Medical Office/Clinic		
		Required	Provided	Notes
Height		Lesser of 40' or 3 stories	Not provided	
Lot	Area	7,500SF	31,562SF	
	Frontage	100'	127.25'	Measurement based on Brown County aerials. Should be noted on plans.
	Green space	20%	44%	
Setback	Front	50'	72'	Calculation based on Brown County aerials. Should be noted on plans.
	Side (inner)	10'	10'	
	Side (corner)	N/A	N/A	
	Rear	30'	60'	
Parking	Number	1.5/200SF + 1per employee on shift: 44	21 (on site)	Additional 28 stalls on adjoining parcel. Perpetual parking easement agreement between parcels should be established.
	Size	10'x20'	Not provided	Stall size is allowed regardless if existing kept.
	Bicycle	Bicycle parking should be provided	Standards met	Recommend a bicycle rack which accommodates a U-shaped lock and the ability to secure the bike frame and both wheels instead of proposed. Also maintain the rack out of the pedestrian zone.
Access	Automobile	24' drive lanes with 90 degree parking	Not provided	Perpetual ingress/egress easement agreement between parcels should be provided. Lane width is allowed regardless if existing kept.
	Pedestrian	ADA compliant sidewalks	Standards met	Sidewalk widths should be noted on plans. Pedestrian access from Webster Avenue or Broadview Drive is recommended.
Architecture		Varied rooflines and other architectural designs that break-up the building mass	Standards met	
Exterior finishes		Brick, stone, glass, fiber cement siding, EFIS, stucco, wood siding	Not provided	
Lighting		Dark sky compliant, no light directed towards ROW, no more than 0.5FC at property line, must be shut off at 10p.m.	Standards met	There is a slight spillage of more than 0.5FC onto neighboring drive, which is acceptable. Staff recommends the full site lighting option.
Sign		N/A	N/A	Location should be identified, but design is reviewed at time of sign permit. Sign should be shut off at 10p.m. with lights.
Fences/Screening		No fences or berms are required, dumpster must be located at rear and be screened using same finishes as primary structure, mechanical equipment must be screened from street	Standards met, except for back-up generator	Back-up generator should be screened from view of the street to the greatest extent possible.

**All other zoning requirements for "C" Professional Office and Residence District stipulated in Chapter 475 of Village Ordinances should be met to the highest degree possible.

- Fire Department review:
 - The building will have a full NFPA 13 sprinkler system according to the architect.
 - Additional comments attached (Attachment 2B).
- Parks, Recreation, and Forestry Department review:
 - Comments attached (Attachment 2C).
- Public Works Department review:
 - Comments attached (Attachment 2D).
- Additional comments:
 - Location of construction access – shared drive shall remain accessible and discussion should be considered for maintenance of shared roadway.

Date Reviewed: February 22, 2017

Comments Submitted By: Trevor Fuller, Village of Allouez Planning & Zoning Administrator

2B



Fire Department

Fire Marshals Division
Captain Joe Gabe

February 16th 2017,

Trevor Fuller-Planning and Zoning Administrator
Village of Allouez
1900 Libal Street
Green Bay, WI 54301-2453

RE: Site Plan Reviewer comments for the new Surgery Center of Green Bay located at 2825 South Webster Ave.

Dear Mr. Fuller,

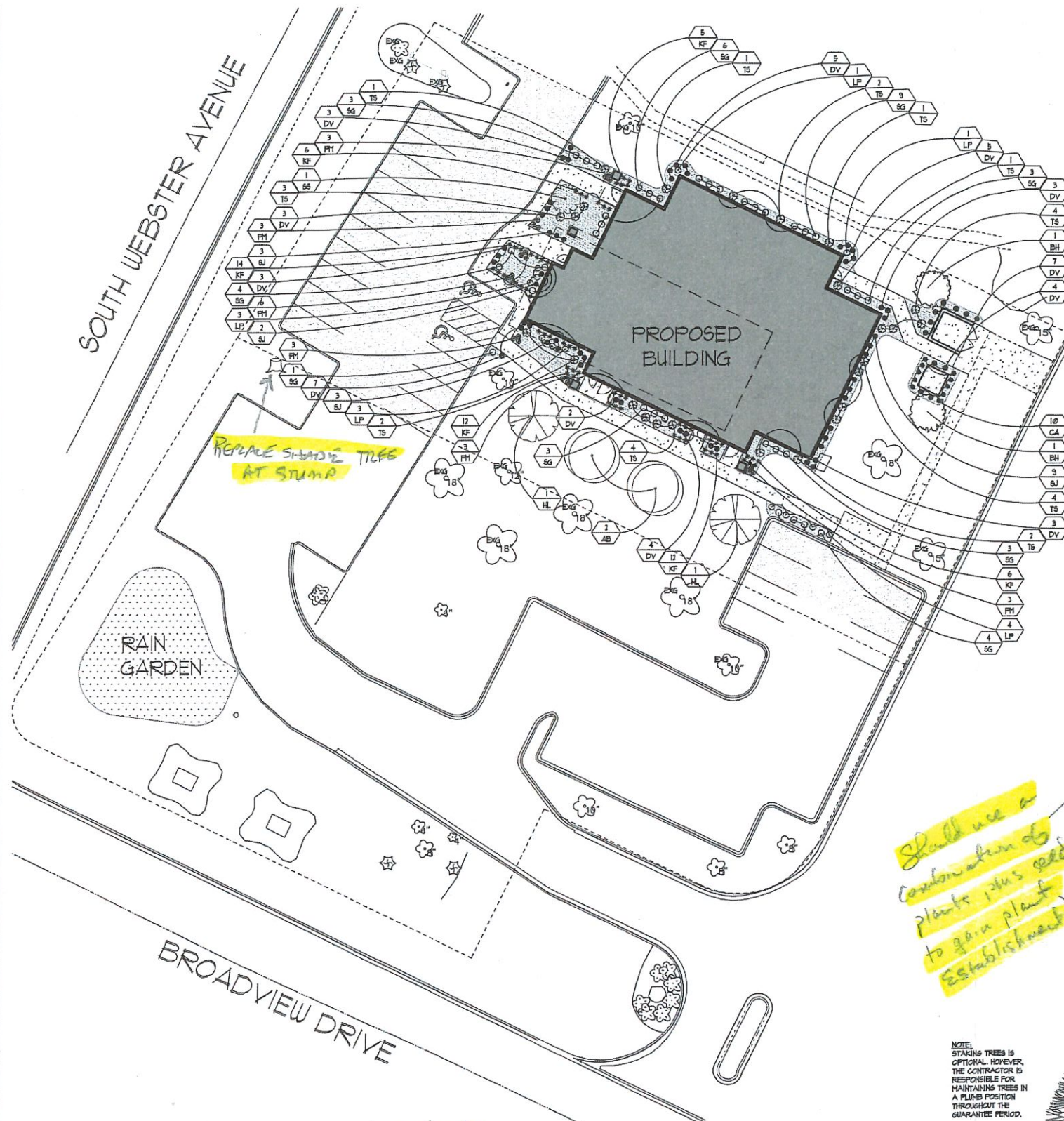
Attached are the GBMFD requirements for the new Surgery Center of Green Bay located at 2825 South Webster Ave.

- GBFD requires that all exterior FDC (Fire Department Connections) and Standpipe connections are five inch *Storz* brand connections. If the FDC or Standpipe connection is higher than 30 inches above finished grade, then you will be required to install a thirty three down degree angle connection on the five in *Storz* connection to prevent hose kinking in the five inch supply line to the fire department connection. IFC 903.3.7.
- GBFD will require a *Knox Box* brand lock box at the Main entrance of the buildings. If the building contains a sprinkler control room that is accessed from the exterior a *Knox box* must also be placed adjacent to that door. The *Knox Box* brand locking boxes can be purchased by visiting the Knox Box website or calling (920) 448-3280 and requesting a *Knox Box* brand locking box packet. IFC #506.1 and 506.1.1.
- The parking lot and fire lane roads shall meet the minimum weight and turning radius for GBMFD apparatus (See Attached Specifications Sheets) IFC 503.2

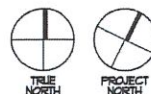
If you have any questions please feel free to contact the Green Bay Fire Metro Marshal's Office at (920)448-3289.

Respectfully,

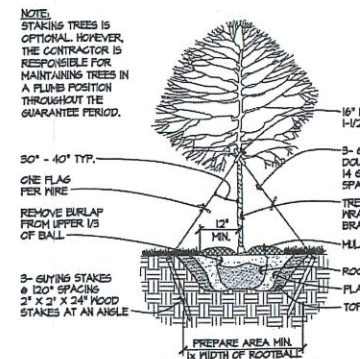
Captain Joe Gabe
Fire Marshal's Office
Green Bay Fire Department
Phone-(920)448-3289
joe@greenbaywi.gov



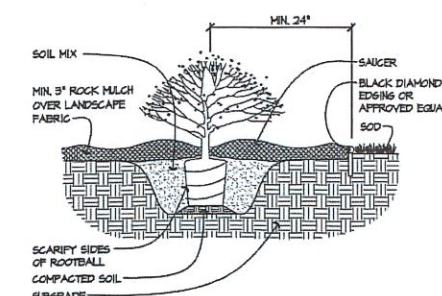
1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



2 TREE PLANTING DETAIL
NOT TO SCALE



3 SHRUB PLANTING DETAIL
NOT TO SCALE



PLAN
SYMBOL

16
PPS
QUANTITY
CODE

PLANT SCHEDULE

OVERSTORY TREES

CODE	SYMBOL	QTY.	SIZE	ROOT	MATURE SIZE	COMMON NAME	LATIN NAME	REMARKS
AB	○	2	2.5" CAL.	B&B	42" H x 28" W	Ashum Blaine Maple	<i>Acer x freemant 'Jefferson'</i>	STRAIGHT LEADER
HL	⊗	2	2.5" CAL.	B&B	28" H x 24" W	Imperial Honeylocust	<i>Gleditsia triacanthos 'Imperial'</i>	STRAIGHT LEADER

CONIFEROUS TREES

CODE	SYMBOL	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
BH	○	2	6" HT	B&B	35" H x 20" W	Black Hills Spruce	<i>Picea glauca densata</i>	STRAIGHT LEADER

ORNAMENTAL TREES

CODE	SYMBOL	QTY.	SIZE	ROOT	MATURE SIZE	COMMON NAME	LATIN NAME	REMARKS
SG	○	1	1.5" CAL.	B&B	21" H x 14" W	Spring Snow Crabapple	<i>Malus 'Spring Snow'</i>	STRAIGHT LEADER

DECIDUOUS SHRUBS

CODE	SYMBOL	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
DV	⊗	48	#5 CONT.	POT	4" H	Dwarf European Yew	<i>Yew europaea 'Nana'</i>	-
TS	⊗	75	#5 CONT.	POT	3.5" H x 3.5" W	Tier Spirea	<i>Spiraea betulifolia 'Tier'</i>	-
LP	⊗	12	#5 CONT.	POT	2.5" H x 2.5" W	Little Princess Spirea	<i>Spiraea 'Little Princess'</i>	-

EVERGREEN SHRUBS

CODE	SYMBOL	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
CA	⊗	10	48" HT	POT	9" H x 2.5" W	Columnar Arborvitae	<i>Thuja occidentalis 'Columnar'</i>	-
SG	○	30	#5 CONT.	POT	8" H x 6" W	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	-
SJ	⊗	15	#5 CONT.	POT	1.5" H	Scandelia Juniper	<i>Juniperus sabina 'Scandelia'</i>	-

GRASSES/PERENNIALS

CODE	SYMBOL	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
KF	⊗	35	#1 CONT.	POT	5" H x 2" W	Karl Foerster Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	-
PH	⊗	31	#1 CONT.	POT	1.5" H x 1.5" W	Pardon Me Daylily	<i>Hosta 'Pardon Me'</i>	-

GROUND COVER

SYMBOL	DESCRIPTION	REMARKS
---	RANGELAND	SEE NOTE #1
---	NEW CONCRETE SIDEWALKS	-
---	BITUMINOUS PARKING/DRIVE AREA	SEE NOTE #1
---	BUFF LANDSCAPE ROCK AREA FOR PLANTINGS	SEE NOTE #2

NOTES:

- EXISTING BITUMINOUS TO REMAIN. PROTECT PAVEMENT FOR CONSTRUCTION. CLEAN AND & PREP PAVEMENT FOR PAVEMENT MARKINGS. STRIPE PARKING, ADA SYMBOLS, & PEDESTRIAN CROSSING PATHS AS APPLICABLE.
- BUFF 3" ROCK MULCH OVER LANDSCAPE FABRIC (18" MIN. WIDTH AROUND BUILDING). PROVIDE BLACK PLASTIC EDGING BETWEEN ROCK & SOD (TYP.) ROCK MULCH SPEC. 'RIVER ROCK'
- RE-SOD OR SEED ALL EXISTING GRASS AREAS DISTURBED BY CONSTRUCTION INCLUDING CURBS, RETAINING WALLS & PLANTINGS.
- EXG = EXISTING TREES TO REMAIN

PLAN
SYMBOL

QUANTITY
CODE

SEED MIXTURES

RAIN GARDEN PLANTING PROFILE

A. RAIN GARDEN EDGES AND SLOPES

#	NAME	SCIENTIFIC NAME
1	BUTTERFLY FLOWER	ASCLEPIAS TUBEROSA
2	PURPLE PRAIRIE CLOVER	DALEA PURPUREUM
3	FEATHER REED GRASS	CALAMAGROSTIS 'KARL FOERSTER'
4	PURPLE CONEFLOWER	ECHINACEA PURPUREA
5	BLACK-EYED SUSAN	RUDBECKIA RULGIDA 'GOLDSTRUM'
6	OBEDIENT PLANT	PHYSTOSTEGIA VIRGINIANUM

B. RAIN GARDEN BOTTOMS

#	NAME	SCIENTIFIC NAME
1	JOE-PYTE WEED	EUPATORIUM MACULATUM
2	CARDINAL FLOWER	LOBELIA CARDINALIS
3	PINK TURTLEHEAD	CHELONE SPP.
4	VIRGINIA BLUEBELLS	MERTENSIA VIRGINIANA
5	SWITCHGRASS 'HEAVY METAL'	PANICUM VIRGATUM 'HEAVY METAL'

LANDSCAPE NOTES:

- ALL PLANTING IN TURF AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY OR BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY PLUMBING CODES AND REQUIREMENTS.
- EDGE ALL SHRUBS AND PERENNIAL BEDS WITH SIX (6) INCH WIDE BY 1/8" THICK BLACK POWDER COATED GALVANIZED STEEL LANDSCAPE EDGING.
- PROVIDE FOUR (4) INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES LOCATED IN TURF AREAS. NO VINYL EDGING IS REQUIRED FOR TREES LOCATED IN SHRUB AREAS AND SEEDING AREAS.
- PROVIDE FOUR (4) INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB AREAS.
- PROVIDE THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL PERENNIAL AREAS.
- PROVIDE THREE (3) INCH DEPTH OF ONE AND ONE-HALF (1.5) INCH RIVER ROCK OVER BLACK LANDSCAPE FABRIC UNLESS OTHERWISE NOTED ON PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE YET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE AND LOCAL CONSTRUCTION STANDARDS AND THE CURRENT EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLAN SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- SOD SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOD TO BE LAWN SOD, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF TOPSOIL AND THOROUGHLY FERTILIZE BEFORE LAYING SOD. LANDSCAPE CONTRACTOR TO MAINTAIN SODDED AREAS IN HEALTHY CONDITION.
- PLANTING SOIL FOR BACKFILLING TO BE TOPSOIL WITH 3 LBS. OF COMMERCIAL FERTILIZER AND ONE-FIFTH YARD OF PEAT BARK PER CUBIC YARD. TOPSOIL TO BE SELECT TOPSOIL BORROW.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PERENNIAL BEDS PRIOR TO PLANTING.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR TO MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT GUARANTEE PERIOD. THE GUARANTEE PERIOD IS TWO GROWING SEASONS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE.

LANDSCAPING:
VILLAGE OF ALLOUEZ
ZONING CODE 11.29 (10-8)
AT LEAST 20 PERCENT OF THE TOTAL LOT AREA SHALL REMAIN OPEN SPACE

TOTAL PARCEL AREA: 31,562 SF
BUILDING AREA: 7,050 SF / 22%
PAVEMENT AREA: 10,753 SF / 34%
GRASS & LANDSCAPE AREA: 13,760 SF / 44%

REQUIRED LANDSCAPE

- ONE (1) TREE PER DWELLING UNIT. (1+1)
- ONE (1) TREE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA, AND ANY FRACTION THEREOF, FOR NONRESIDENTIAL USES. (10,753 ÷ 1,000 = 10)
- ONE (1) TREE PER EVERY EIGHT (8) PARKING SPACES. (20 ÷ 8 = 2.5) (2.5 FOR PARKING SOUTH OF SITE)
- ONE (1) STREET TREE FOR STREET FRONTAGES GREATER THAN 100 FEET. (127 LF FRONTAGE ÷ 4) (TOTAL 15 TREES REQUIRED)

PROVIDED LANDSCAPE
EXISTING: 5 TREES (43 EXISTING SOUTH OF SITE)
ADDITIONAL: 7 TREES

SRA
SPERIDES REINERS ARCHITECTS, INC.
4800 WEST OLD SHAWNEE ROAD
SUITE 220
BLOOMINGTON, MINNESOTA 55437
PH: 952.996.9662
FX: 952.996.9663
WWW.SRAARCHITECTS.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

**SURGERY CENTER
OF GREEN BAY**
2895 S. WEBSTER AVENUE
ALLOUEZ, WI 54301

LANDSCAPE
PLAN

PROJECT NO: 16-064
DRAWN BY: E.M.
CHECKED BY: N.S.

Notes By:
Chris Clance, Director of Parks, Rec. & Forestry

2D

Trevor Fuller

From: Craig Berndt
Sent: Thursday, February 16, 2017 3:53 PM
To: SchuhC@ayresassociates.com
Cc: Trevor Fuller
Subject: Surgery Center of GB Stormwater

Hi Craig-

This is a follow-up to our telephone conversation of yesterday regarding stormwater requirements for the Surgery Center project.

This project will require a stormwater permit and engineering submittal for the project. The village post-construction stormwater ordinance, for a site of less than 20,000 ft² disturbed area, requires stormwater treatment the same as a larger site but we do not impose a hard numerical discharge limit to allow some flexibility. Treatment methods are the same as a larger project, so consider the type and extent of treatment needed and include this in your stormwater application.

This project will discharge stormwater to the storm sewer that ultimately discharges to the village Heritage Hill stormwater pond. Treatment at this pond is expected to be removals of 69% TSS and 48% TP. You may elect to purchase treatment capacity at this pond rather than construct full treatment at on the project site. The fee in lieu of treatment cost is \$18 per ton of TSS applied as a one-time charge based on the annual discharge amount. We would have to determine the TP treatment cost.

The Fox River TMDL treatment requirements are removals of 72% TSS and TP of 42% removal. Your discharge, from the project site plus the pond (if you purchase capacity) must meet this requirement. If you do not purchase treatment capacity then the site discharge must meet this requirement. The amount of treatment you need to provide is not very much, but we do still require the flow equalization criteria.

Please let me know when you plan to submit the application and stormwater information. We will proceed with the planning commission approval process, but the building permit will not be issued until the stormwater permit has been issued. On complex projects it requires some time to review the stormwater permit application and engineering report, but this project is simpler so this should be a short review.

Please let me know if you have questions. Thanks, Craig

Craig L. Berndt, P.E.
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