

# Memo

To: Plan Commission, Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: FINAL APPROVAL OF PETITION FROM ZAMBALDI BREWERY – REQUESTING PLANNED DEVELOPMENT DISTRICT ON PARCELS AL-44 & AL-44-1, LOCATED AT 1649 S WEBSTER AVENUE

Date: 28 September 2017

Attached are the proposed plans submitted by Malcolm Management, LLC. (Zambaldi Brewery) for the review of the Planned Development District (PDD) at 1649 S Webster Avenue (attachments 1A, 1B, 1C). A representative from Zambaldi will be present at the meeting to talk about the project and answer any questions.

## Planned Development District Process

The PDD process offers both the village and the developer flexibility from the zoning code. Not all details of the plan need to be consistent with what is required in the zoning code, but deviation from the zoning code should be to promote a development that is innovative in design, character, and quality.

The Plan Commission and Village Board determined at previous public meetings that the proposed project principle is consistent with the purpose, spirit, and intent of the Village Comprehensive Plan, other village development plans, and the purpose defined in chapter 475 of the village ordinances.

The Village Board is asked to make a recommendation on the final plan review of the Zambaldi Brewery proposal. Site specific details of the project should be discussed and reviewed at this meeting.

The petitioner is not prohibited from resubmitting the same or different proposal in the future if final approval is not obtained. Furthermore, preliminary approval does not bind the Village of Allouez to final approval of the project.

## Recommendation

Staff has reviewed the presented plans and has shared comments with representatives from Zambaldi (see attachment 2A). Please note that zoning assumptions may be based on what is allowed in a Commercial District. The PDD process allows for an overlay district to be created to deviate from these requirements, but explanation from the developer should be provided.

Staff recommends final approval of the proposed project, should all staff and Plan Commission comments be addressed prior to Village Board final approval or a reasonable explanation (as determined by staff and the Village Board) as to why these comments were not addressed.

At the August 28, 2017 meeting, the Plan Commission recommended final approval of Zambaldi's PDD petition, assuming all neighbors' concerns regarding the fence and staff comments are addressed.

**The Village Board is asked to determine whether or not to approve, not to approve, or table Zambaldi's PDD petition. If the decision is to approve, the motion should specify the terms and conditions of approval.**

Zambaldi Beer Brewery  
Proposed for 1649 S. Webster Avenue

Response for        Developer Checklist  
                          Planned Development District  
                          Preliminary Approval

August, 2017

□ **Statement** describing the general character of the intended development.

The Zambaldi Beer Brewery, the life dream of David and Abigail Malcolm, will be a 6,000 square foot, state of the art micro-brew facility located in central Allouez. The modern, industrial building will feature a brew house capable of producing 3000 barrels of beer each year and can be expand four fold as the popularity of Zambaldi Beer grows. The tap room will serve fresh Zambaldi beer in a comfortable, family oriented setting that overlooks the brew house and the Village's busiest street.

More than a brewery, the Malcolm's are creating a "3<sup>rd</sup> Place". Ray Oldenburg, author of the 1989 book entitled *The Great Good Place*, is credited with coining this term to describe community building. The third place is the social surroundings separated from the two usual social environments of "home" ("first place") and the office ("second place"). Oldenburg argues that 3<sup>rd</sup> Places are important for civil society, democracy, civic engagement and establishing a sense of place. (See Wikipedia – Third\_Place)

Zambaldi Beer Brewery is destined to become the prominent "3<sup>rd</sup> Place" in the Greater Green Bay area; the place where people visit to "Raise a glass together every day" and build the community we are so proud to call home.

- The nature, use and character of the neighboring properties.

The site plan shows the immediate property at 1649 South Webster Avenue (former location of the Allouez Village works building). F & M Bank is located to the north; the Santa Fe Salon to the south; a handful of single family homes behind the brewery site to the east on Rustic Oaks court and the Woodlawn Cemetery across the street to the west. The Webster Avenue corridor stretches north and south in front of the brewery location with additional businesses and residences.

- General Development Plan of the Proposed Project (See site plan):
  - Pattern of public and private roads, driveways and parking facilities.
  - The size and location of lots.
  - The type, size and location of structures (see architectural plans).
  - Sanitary, storm and water lines; site lighting (existing available at site).
  - There are no dedicated public use spaces such as schools or parks.
  - General landscape treatment.
- Statistical data related to this development
  - Character and intensity of Land Use.

The existing property at 1649 S. Webster is a former municipal property currently listed for sale at \$399,000. It is a tax exempt property that could be made a part of the TID #1. It is part of the 2015 Corridor Plan for Webster Avenue.

As part of the Webster Avenue Corridor Plan, this parcel helps build the character and intensity of the proposed land use in numerous ways.

- Zambaldi will strengthen the neighborhood identification as a small scale development, that contributes to a Main street feel by moving close to Webster (adjacent to the planned sidewalk renewal project) and incorporating an outdoor patio integral to the Webster corridor.
- Zambaldi will exemplify contemporary design, complimentary to the existing fabric of Webster while simultaneously raising the bar for future renovations and development.

- Zambaldi will strengthen the Webster Corridor as the Allouez "Downtown" by anchoring the north gateway to the district, the center of which is the intersection of St. Joseph and Webster.
- Zambaldi will be on pedestrian and bicycle routes, enhanced by the Metro Bus Lines, conditions supportive of the Webster Avenue Corridor Plan.
- And though Zambaldi is not a "mixed use/multi-story" development (as suggested for the 1649 Webster site in the Corridor Plan), it does provide parking adjacent to the "new downtown", green space and an intimate public gathering space; a community space with parking.

The proposed use of the site makes use of the current curb cuts for access to and from Webster. Existing utility connections should also be available for this development. The building location is planned to allow the facility to expand to over 15,000 square feet in the future. The Zambaldi Beer Brewery will provide the character and intensity of the land use that supports the Webster Corridor Plan.

- Economic **Feasibility** and Impact. (Provided by the Malcolms).
- **Engineering Design Systems.** (On site plan)  
The GBFD Ladder Truck has the largest radius of the service vehicles. Showing the ladder truck and a semi as accessing the site provides the necessary clearances for all vehicles on the site.
- Preservation and Maintenance of **Open Space.**  
Open space is provided as part of the development and will be maintained privately as part of the facility.

■ **Implementation** Schedule.

- October, 2017 Close with Bank; Ground Breaking
- December, 2017 Construction is weather tight.
- March, 2018 Construction Done / Begin Equipment Install
- May, 2018 Grand Opening

■ **Architectural Plans and Elevations** – See Drawings.

■ Property **Owner Association** – Not applicable to this development.

■ **Signage** – See Drawings.

■ **Storm Water Management** Plan – Also see Site Plan.

- In the short term, the site allows significant open space. The site plan shows 5 locations for possible storm water management facilities. The three along the east side of the site each provide 2,500 square feet of space. The site east of the building has over 3,000 square feet of capacity and the last location, north of the building and adjacent parking lot has 2,000 square feet of capacity for a total of 12,500 square feet of designated site to Storm Water facilities – almost 15% of the site.
- In the long term, as the facility expands and additional parking is needed; more sophisticated storm water management solutions can be considered. For example, underground systems, permeable pavements and future municipal systems can be evaluated along with the surface systems.
- With preliminary approval of the PDD, site specific Storm Water Management Engineering can begin.

### General Character Statement

Zambaldi Beer is submitting for a planned development district to construct a 6300 square foot brewery and taproom. The location is 1649 S. Webster Avenue. The proposed project is a repurposing of a blighted site that previously held a landfill and the Allouez Village Hall.

The proposal takes cues from the 2015 Allouez Corridor Report. The proposed brewery and taproom seeks to create a community gathering place for the residents of Allouez as well as to draw people from outside of the village.

### Impact Analysis Report

The planned development district located at 1649 S. Webster Avenue seeks to transform a blighted site which is currently vacant. Previously the site was the village hall, and was a landfill prior to that. The brewery seeks to be an attractive addition to the Webster Avenue corridor and to conform to the recommendations for character of the corridor.

The 2 acre site is surrounded by commercial lots to the north and south, residential lots to the northeast, east, and southeast, and the Woodlawn Cemetery to the west. Future plans for the area include enhancing pedestrian accessibility and upgrading the attractiveness of the streetscape. This proposal includes an approximately 1500 square foot beer garden adjacent to the sidewalk and parking to the sides and rear of the building.

The site plan consists of a single building containing a 2000 square foot tasting room and 2800 square foot brewery space with the rest of the space taken up by the back bar area, restrooms, and mechanical room. A landscaped green space will be adjacent to the beer garden. There will be 35 parking spaces on the side and rear of the building. There will be parking lot access at the current curb cuts on the north and south ends of the property.

As the site has been previously developed, much of the sanitary and water mains have been developed.

The character of land use fits the characteristics described by the Allouez Corridor Study. The contemporary architecture will utilize materials that integrate the brewery into the surrounding area. The building will be set back just enough to fit the beer garden adjacent to the sidewalk to enhance pedestrian accessibility and ambiance.

Currently the blighted parcel is valued at approximately \$399,000. This development will multiply the assessed value of the land. Additional benefits include increased traffic to the Webster Avenue corridor, increased awareness of the viability of development along the corridor, and a site design accommodating future expansion.

The developer seeks to begin development of the PDD in calendar year 2017. The projected opening of the tasting room would be in May 2018. The school system and village services are not anticipated to be impacted.

# ZAMBALDI BEER BREWERY

1649 S. WEBSTER AVE.

ALLOUEZ, WI



4 EXISTING AERIAL  
1" = 60'-0"



This plan set includes the following information:

- 1. Name and street address of project/development  
Zambaldi Beer Brewery  
1649 S. Webster Avenue  
Green Bay, WI 54301
- 2. Name and mailing address of developer/owner  
David and Abigail Malcolm  
1442 Grignon Street  
Green Bay, WI 4301
- 3. Name and mailing address of engineer/architect  
Dimension IV, A Division of Idea House, Inc.  
124 S. Broadway  
Green Bay, WI 54303  
(Accompanies specific plan)
- 4. North point indicator  
(Accompanies specific plan)
- 5. Scale  
(Accompanies specific plan)
- 6. Boundary lines of property, with dimensions  
Plan Sheet A-100
- 7. Location, identification, and dimension of existing and proposed:
  - Topographic contours at a minimum of two (2) feet  
Plan Sheets A-100 and A-101
  - Adjacent streets and street rights-of-way  
Plan Sheet T-1
  - On site streets and street rights-of-way  
Not Applicable (Development requires only drive and parking; these are shown on the Proposed Site Plan.)
  - Utilities and utility easements for electric, natural gas, telephone, water, sewer (sanitary and storm); fiber optic lines; and antenna, satellite dishes, and other communication poles and transmission lines  
Plan Sheet A-100
  - All buildings and structures  
A-101
  - Parking facilities (with provisions for bicycles, scooters, and motorcycles)  
A-101 (Customer parking for cars and motorcycles north of building; employee parking east of building; bicycles and scooters west of main entrance.)
  - Water bodies and wetlands (including flood plain and floodway delineations)  
Not Applicable
  - Surface water holding ponds, drainage ditches, and drainage patterns  
C-2
  - Sidewalks, walkways, trails, and driveways  
A-101 (There are no "trails" on site.)
  - Off street loading areas and docks  
A-101 (Customers at main entrance on north; and Shipping and Receiving at loading dock on south)
  - Fences and retaining walls  
A-101 (For both patio on west near public sidewalk; and along east at residential properties.)
  - All exterior signs  
A-101 (Site location of monument sign)  
A-300 (For configuration of monument sign and the 2 locations and configuration of signs on building.)
  - Exterior refuse storage/collection areas  
A-101 (Southeast of building at loading dock area.)
  - Traffic flow on and off site  
A-101 (2 way traffic flow on and off the site; truck traffic expected to enter site on south drive and exit on north.)
- 8. Location of open spaces  
A-101 (Initially, there will be open property on two sides of building. Depending on future expansion; some of the open space will be converted to additional parking. The Village will also have an open site to the south.)
- 9. Site statistics, including site square footage, percent site coverage, percent open space, and floor area ratio  
Site: 70,760 SF (Lots AL-44 and AL-44-1 presuming 6' of west edge being changed to Village use of Right of Way.)  
Site Coverage: 35,640 SF (Approximately 50.37%)  
Open Space: 23,000 SF or 32.50% (Includes 4,000 SF of patio and Webster Avenue open space; 2,600 SF of future parking median; 12,400 SF of setback on east property line open space half of which may be changed in future to parking and 4,000 SF of open space adjacent to the east side of the building that may be converted to building in the future.)  
See T-1 for additional information.
- 10. Location and dimensions of proposed outdoor display areas  
Not Applicable - There is no outdoor display space. There is an outdoor patio of 1,500 SF.
- 11. Architectural rendering of the proposed structures and buildings, including all exterior dimensions, gross square footage of existing and proposed buildings and structures, and the description of all exterior finish materials  
T-1: Rendered Elevation  
A-200: Building Floor Plan (Proposed footprint - 6,840 SF. See also T-1 for other specific building areas.)  
A-300: Building Elevations
- 12. Erosion control plans  
C-1
- 13. A staging plan for any projects involving more than one phase or construction season, including the timeline of construction, the proposed uses and structures of various service facilities, and the estimated completion dates  
This project is "complete" with this proposal. However, the Owner reserves the option to expand the Brewery in the future and make related changes for storm water and parking. Potential expansion could double the size of the building; expansion would be east and south.
- 14. Impact analysis to effects of a proposed development on activities, utilities, circulation, surrounding land uses, community facilities, noise, environment, and other factors  
This information has been provided separately of this submittal.
- 15. Other information, not mentioned in Village Ordinance 11.25, considered pertinent by Village of Allouez staff and/or the developers shall include, but is not limited to:
  - Identification of adjacent properties within 200 feet of all boundaries and depiction of structures on those properties  
T-1
  - Location, identification, and dimensions of existing and proposed grading plans  
A-100 and A-101 (Conceptual plan; engineering to follow upon approval.)
  - Location, identification, and dimensions of existing and proposed landscaping  
A-101 (Conceptual plan; design to follow upon approval.)
  - Location, identification, and dimensions of existing and proposed photometric lighting plans  
ES-1
  - Storm water management plans  
C-2

## PROJECT INFORMATION

PROJECT / SITE NAME: ZAMBALDI BEER BREWERY  
1649 S. WEBSTER AVENUE  
GREEN BAY, WI 54301

MUNICIPALITY: VILLAGE OF ALLOUEZ  
COUNTY: BROWN

IDENTICAL BUILDINGS: NONE (THIS IS A SINGULAR PROJECT)  
NEW BREW PUB and BREWERY

DESIGNER'S PROJECT NUMBER: G217-690

TYPE OF SUBMITTAL: NEW BUILDING; HVAC; PLUMBING  
OBJECTS: NONE  
COMPONENTS: NONE

OCCUPANCY CLASSIFICATION USE: A (ASSEMBLY - A2, Tap Room);  
F (FACTORY - F2, Brewery)

CONSTRUCTION CLASS: IIB

PROJECT (WORK) AREA (All Levels): 3,000 SF - (Tap Room; NEW CONSTRUCTION)  
4,770 SF - (Brewery; NEW CONSTRUCTION)  
(Includes Mezzanine of 830 SF)  
(Includes Pre-Fabricated Cooler of 360 SF)  
(Includes Loading Dock of 430 SF)

HEATED/VENTILATED AREA: 6,150 SF  
SPRINKLERED / DETECTOR: Not Applicable  
NUMBER OF FLOOR LEVELS: 1 (plus mezzanine)  
TOTAL BUILDING AREA <50,000 CF: NO

FOOTPRINT: 6,940 SF (Including Loading Dock and Cooler)  
IMPERMEABLE AREA: 28,800 SF (Not including Footprint)  
(Includes Patio of 1,800 SF)  
(Includes Sidewalks of 2,400 SF)  
(Includes Drives & Parking of 24,600 SF)

SITE AREA: 71,050 SF (Not including location of New Village Sidewalk)  
SITE COVER (IMPERMEABLE/SITE): 50.3%  
FAR (FLOOR AREA/SITE RATIO): 0.109 (Based on Project Work Area All levels)

FIRE ALARM: NONE  
FIRE SUPPRESSION: NONE

ZONING DISTRICT: PDD  
PARKING REQUIREMENT: 37 PARKING SPOTS REQUIRED  
1700 SF TAP ROOM (30); 1/2 Employees (2);  
1/1,000 SF BREWERY (5)  
37 (Includes 2 ADA spots)  
ON SITE PARKING PROVIDED: NO ADDITIONAL PARKING REQUIRED  
OTHER PARKING PROVIDED: NO ADDITIONAL PARKING REQUIRED

OWNER CONTACT / (OWNER): DAVID & ABIGAIL MALCOLM  
1442 GRIGNON STREET  
GREEN BAY, WI 54301  
TEL: (920) 470-7926  
EMAIL: david.malcolm@zambaldi.com

ARCHITECT / (FIRM): DANIEL A. ROARY, AIA / (DIMENSION IV)  
124 S. BROADWAY, SUITE 204  
GREEN BAY, WI 54303  
TEL: (920) 431-3444  
FAX: (920) 431-3445  
EMAIL: droary@dimension-iv.com  
WEBSITE: www.dimension-iv.com

CIVIL ENGINEERING / (FIRM): BOB MACH, PE / (MACH IV)  
2208 SAUSCHIEDER  
GREEN BAY, WI 54313  
TEL: (920) 569-5765  
FAX: (920) 569-5767  
EMAIL: mach@mach-iv.com

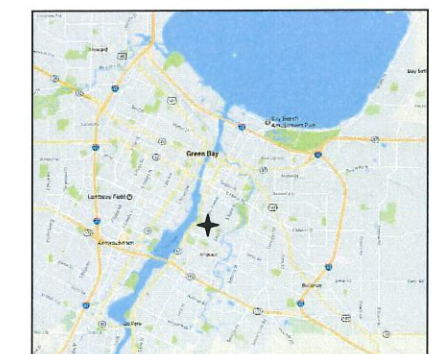
STRUCTURAL / (FIRM): BEN GEROLD, PE  
(BT GEROLD STRUCTURAL ENGINEERING, LLC)  
701 JUNEAU STREET  
KEWAUNEE, WI 54216  
TEL: (920) 309-1639  
EMAIL: bgerold@gmail.com

HVAC & PLUMBING / (FIRM): DALE PEARSON, PE  
(FACILITY ENGINEERING CONSULTANTS)  
2301 RIVERSIDE DRIVE  
GREEN BAY, WI 54301  
TEL: (920) 445-0430  
EMAIL: dpearson@facility-engineering.com

ELECTRICAL / (FIRM): HARLAND MATTHEWS, DE  
(MIDWEST DESIGN SOLUTIONS)  
2676 BAY SETTLEMENT ROAD  
GREEN BAY, WI 54311 ADDRESS  
TEL: (920) 471-0805  
EMAIL: harland@midwestsolutions.com

## LIST OF DRAWINGS

- T-1 TITLE PAGE; PROJECT INFORMATION; PDD CHECKLIST; LOCATION INFORMATION
- A-100 EXISTING SITE CONDITIONS
- A-101 PROPOSED SITE PLAN
- A-102 SITE PLAN DETAILS
- C-1 EROSION CONTROL
- C-2 STORM WATER MANAGEMENT
- A-200 BUILDING PLAN
- A-300 BUILDING ELEVATIONS
- ES-1 ELECTRICAL SITE PLAN AND SCHEDULES
- ES-2 ELECTRICAL SITE LIGHT FIXTURES



20 AREA MAP  
NO SCALE



**DIMENSION IV**  
 Planning, Architectural Design, and Construction Administration  
 Greater Architecture and Sustainable Design  
 Phone: (920) 431-3444  
 Fax: (920) 431-3445  
 www.dimension-iv.com  
 124 S. Broadway  
 Green Bay, WI 54303  
 A Division of Idea House, Inc.

Allouez, WI

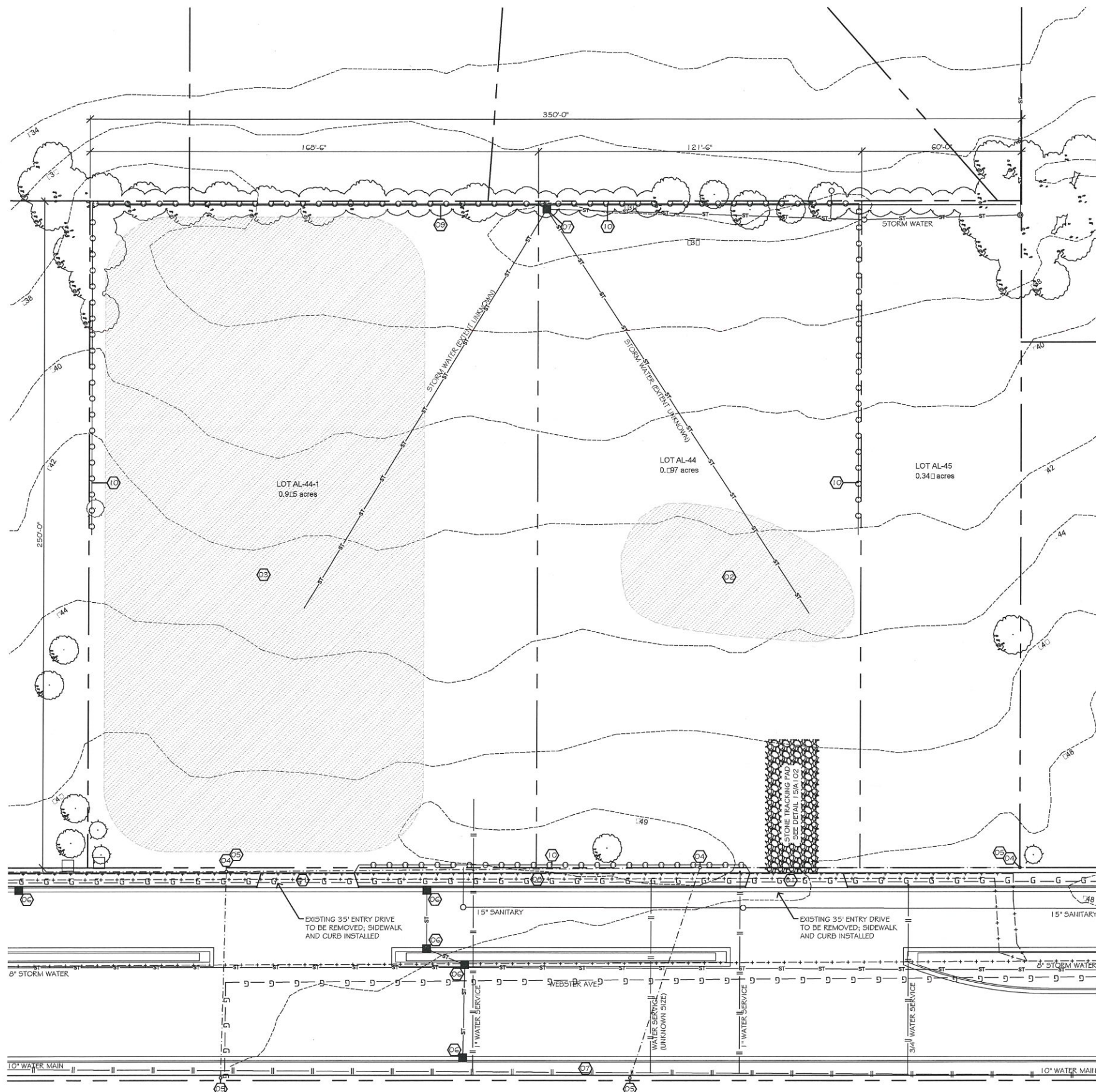
ZAMBALDI BEER BREWERY

1649 S. Webster Ave

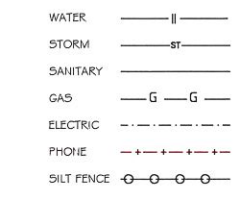
Verify all existing site conditions  
 REVISIONS:  
 PRELIMINARY DRAWINGS  
 NOT FOR CONSTRUCTION  
 LAST UPDATE: ..

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 DRAWN: BRA  
 CHECKED: CF  
 APPROVED: [Signature]  
 SEPTEMBER 15, 2017

T-1



- KEY NOTES**
- (1) EXISTING 35' ENTRY DRIVE
  - (2) AREA OF CAPPED OIL PLUME
  - (3) HISTORIC TOWN DUMP LOCATION.
  - (4) EXISTING POWER POLE
  - (5) EXISTING LIGHT POLE
  - (6) EXISTING CURB INLET - SEE DETAIL 20/A102 FOR INLET PROTECTION
  - (7) EXISTING CATCH BASIN - SEE DETAIL 20/A102 FOR INLET PROTECTION
  - (8) EXISTING PUBLIC SIDEWALK
  - (9) EXISTING FENCE AT PROPERTY LINE
  - (10) SILT FENCE - SEE DETAIL 10/A102



4 EXISTING SITE PLAN  
SCALE 1" = 20'-0" W/ EROSION CONTROL



ZAMBALDI BEER BREWERY

1649 S. Webster Ave  
 Allouez, WI

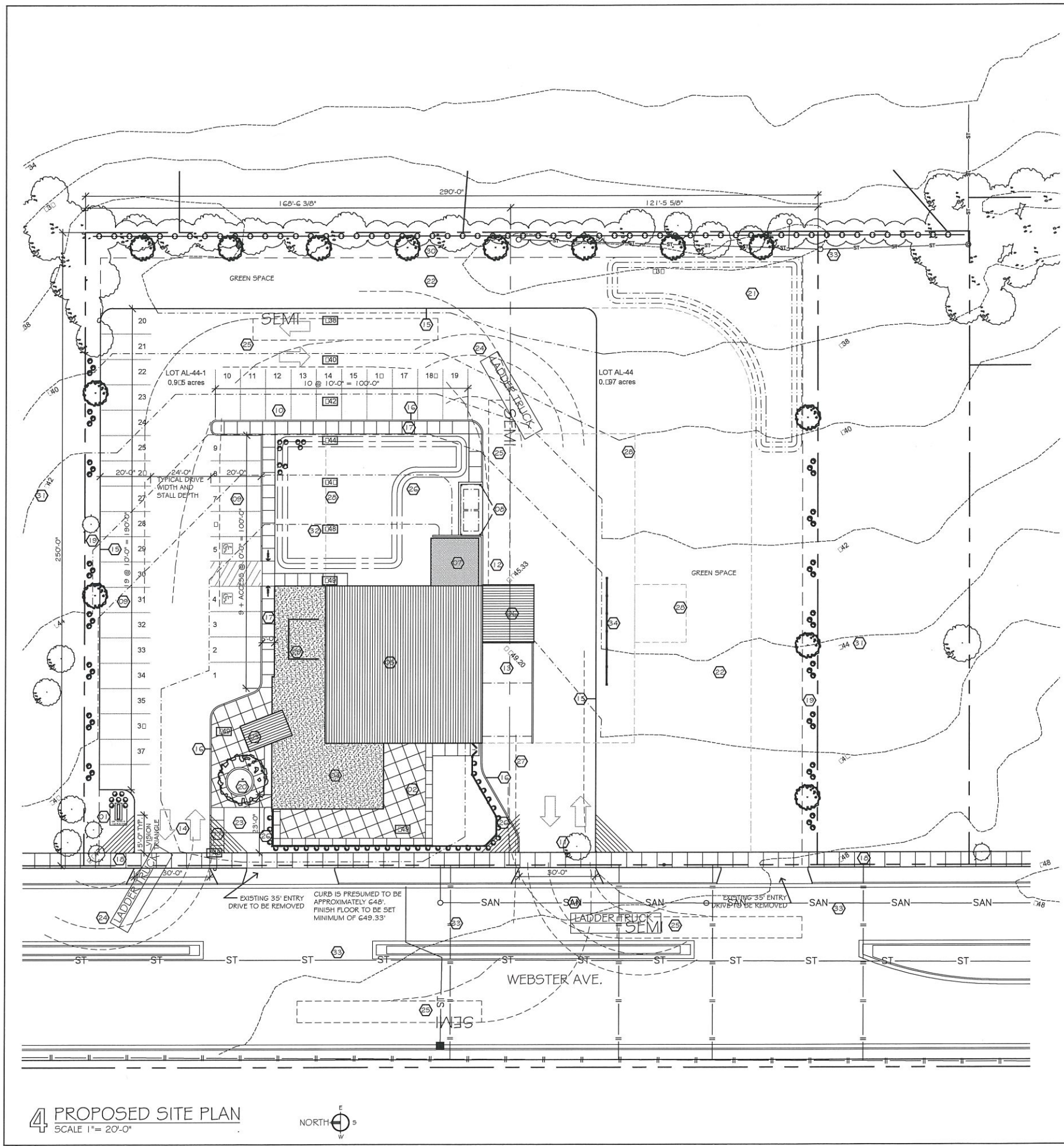
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SEPTEMBER 15, 2017

A-100





**KEY NOTES**

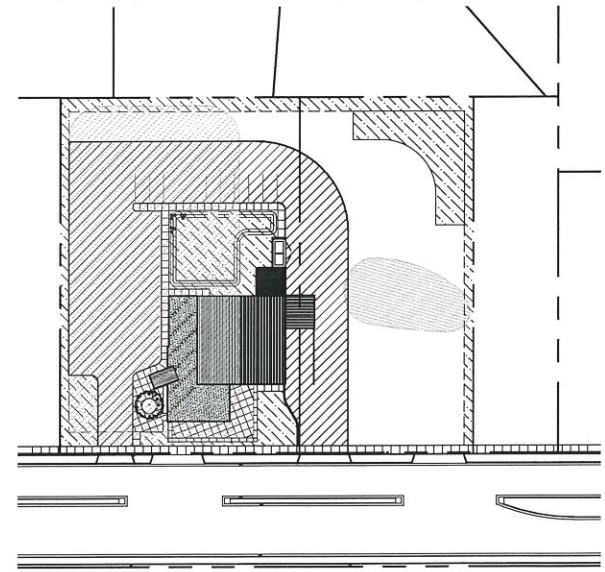
- 21 MONUMENT SIGN (32.5' wide + BASE) AND LANDSCAPING WITHIN 2'
- 22 STAMPED CONCRETE PATIO & GRASS w/ FENCE
- 23 MAIN ENTRANCE/DROP OFF w/ KNOX BOX MOUNTED ON STONE PIER
- 24 TAP ROOM & SUPPORT FACILITIES
- 25 BREWERY
- 26 LOADING DOCK
- 27 COOLER
- 28 DUMPSTERS/ENCLOSURE w/HORIZONTAL METAL SIDING
- 29 CUSTOMER PARKING
- 10 EMPLOYEE PARKING
- 11 DELIVERY DRIVE/CUSTOMER EXIT
- 12 TRACTOR/TRAILER DELIVERY
- 13 TRUCK/VAN DELIVERY
- 14 CUSTOMER DRIVE
- 15 LIMIT OF ASPHALT DRIVE/PARKING
- 16 CURB AND GUTTER
- 17 SIDEWALK
- 18 FUTURE RELOCATION OF VILLAGE SIDEWALK
- 19 SIDEYARD SETBACK (6' MIN FROM PROPERTY LINE) WITH TREES AND SHRUBS TO SUPPLEMENT EXISTING CONDITIONS (PLANTS IN BOLD)
- 20 ENTRY COURT PLANTER
- 21 LANDSCAPED STORM WATER MANAGEMENT AREA
- 22 FUTURE ASPHALT PARKING (INCLUDES RELOCATED DRIVE ON SOUTH)
- 23 BICYCLE PARKING (AT EDGE OF PEDESTRIAN SIDEWALK & ACCESS)
- 24 LADDER TRUCK TRAVEL PATTERN
- 25 TRACTOR TRAILER TRAVEL PATTERN
- 26 36" RAILING/FENCE SYSTEM AND LANDSCAPED GREEN SPACE
- 27 FOOD TRUCK PARKING AREA
- 28 POTENTIAL EXTENT OF FUTURE BUILDING EXPANSION
- 29 MECHANICAL/ENCLOSURE w/HORIZONTAL METAL SIDING
- 30 REAR YARD SETBACK (10' MIN FROM PROPERTY LINE). RESIDENTIAL PRIVACY WILL INCLUDING KEEPING EXISTING FENCE AND VEGETATION 'AS IS' (SEE LETTER SHOWING NEIGHBOR AGREEMENT) AND SUPPLEMENTED WITH 1 TREE/35'.
- 31 EXISTING CONTOUR AND ELEVATION
- 32 NEW CONTOUR AND PROPOSED ELEVATION
- 33 WATER, SANITARY AND/OR STORM LINES AND LATERALS
- 34 6" FENCE TO SCREEN LOADING DOCK

ALSO NOTE: SITE SIZE AND CONFIGURATION WILL ALLOW FOR CONSTRUCTION VEHICLES AND FACILITIES TO BE STAGED ON THE SOUTH PART OF THE PROPERTY DURING CONSTRUCTION.

SITE SQ FT:	71,050 w/o WEBSTER SIDEWALK
BUILDING SQ FT:	6,150 (+ COOLER, DOCK & MEZZ)
NEW ASPHALT PAVING PARKING:	37 SPACES
GREEN SPACE SQ FT (TOTAL NOW):	34,650 SF
FUTURE ASPHALT PAVING PARKING:	57 SPACES (TOTAL = 94)
GREEN SPACE w/ ADDITIONAL PARKING:	14,650 SF (WOULD REMAIN)

**KEY**

- PARKING:
- OPEN SPACE (PATIO/SIDEWALK):
- OPEN SPACE (LANDSCAPED):
- FUTURE PARKING (OPEN SPACE LANDSCAPED):
- OIL PLUME:
- HISTORIC LANDFILL:

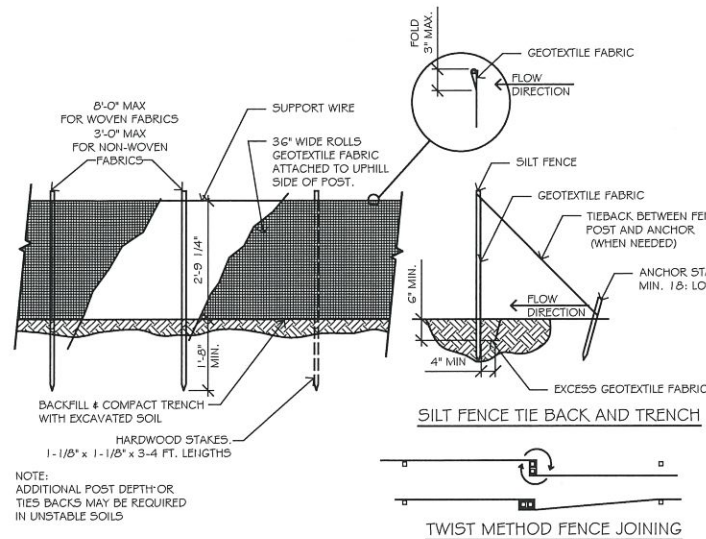


**4 PROPOSED SITE PLAN**  
SCALE 1" = 20'-0"



**20 OPEN SPACE PLAN**  
SCALE 1" = 60'-0"





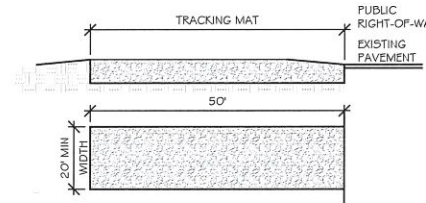
**10 SILT FENCE & TIEBACK DETAIL**  
SCALE 1/2" = 1'-0"

**SILT FENCE NOTES**

- TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH. BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY. WOOD POSTS SHALL BE A MINIMUM OF 3 FT. LONG FOR 24" SILT FENCE AND A MINIMUM OF 4 FT. FOR A 36" SILT FENCE FABRIC. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
  - THE SILT FENCE SHALL HAVE A SUPPORT CORD. THE SILT FENCE FABRIC SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UP-SLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL THEN BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE, SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS. AT TERMINAL ENDS OF THE SILT FENCE, THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.
- GEOTEXTILE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES (TABLE 2):
- |   |               |
|---|---------------|
| A. GRAB STRENGTH - MACHINE DIRECTION: 120 LBS.      | (ASTM D-4632) |
| B. GRAB STRENGTH - GROSS MACHINE DIRECTION: 100 LBS | (ASTM D-4632) |
| C. EQUIVALENT OPENING SIZE - NO. 30                 | (ASTM D-4751) |
| D. MINIMUM PERMEABILITY - 0.05/SECOND               | (ASTM D-4491) |
| E. ULTRA-VIOLET RADIATION STABILITY OF 70%          | (ASTM D-4355) |

INSTALLATION PROCEDURE AS FOLLOWS:

- EXCAVATE A U-TRENCH UP-SLOPE FROM THE LINE OF STAKES.
  - INSTALL SILT FENCE IN TRENCH. CARE SHOULD BE TAKEN TO AVOID TEARING FABRIC. TORN FABRIC SHALL BE REMOVED AND A NEW SEGMENT OF SILT FENCE SHALL BE PLACED. STAKES SHALL BE DRIVEN A MINIMUM OF 20" DEEP. SILT FENCE SHALL BE A MINIMUM OF 14" AND A MAXIMUM OF 28" IN HEIGHT, MEASURED FROM THE INSTALLED GROUND ELEVATION. ENDS OF THE FENCE SHALL BE TURNED UP-SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS OF THE FENCE.
  - FIT LOWER 8" OF FILTER FABRIC INTO U-TRENCH. BACKFILL AND COMPACT U-TRENCH.
- SILT FENCE SHALL BE INSPECTED WITHIN 24 HRS. AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER. (9" MAXIMUM RECOMMENDED STORAGE HEIGHT) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

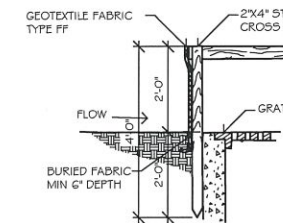


**STONE TRACKING PAD NOTES**

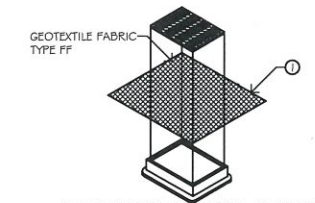
- USE 3'-6" OF CLEAR STONE. MINIMUM 50' LENGTH OR AS SHOWN ON PLAN. MINIMUM 20' WIDTH. MINIMUM 12" THICK.
- FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. THE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 

A. GRAB STRENGTH:	220 LBS.	(ASTM D-1682)
B. MULLEN BURST:	430 PSI MIN.	(ASTM D-3706)
C. EQUIVALENT OPENING SIZE:	40-80	(US STD. SIEVE)
D. ELONGATION AT FAILURE:	60%	(ASTM D-1682)
E. PUNCTURE STRENGTH:	125 LBS.	(ASTM D-751)
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
- ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY. FLUSHING IN THE RIGHT-OF-WAY IS NOT ALLOWED.
- ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.

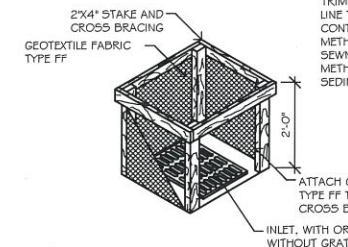
**15 STONE TRACKING PAD**  
SCALE 1/2" = 1'-0"



**INLET PROTECTION, TYPE A**

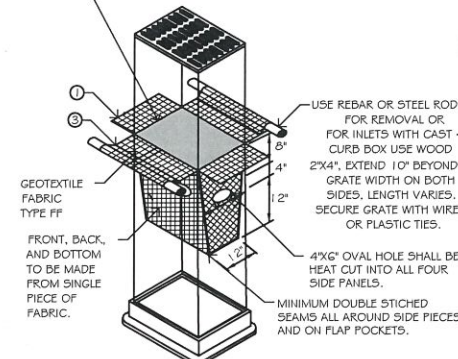


**INLET PROTECTION, TYPE B**



**INLET PROTECTION, TYPE C**

INLET SPECIFICATIONS AS PER THE PLAN DIMENSION LENGTH AND WIDTH TO MATCH



**INLET PROTECTION, TYPE D**

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE)

**GENERAL NOTES**

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**KEYNOTES:**

1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

**20 INLET PROTECTION DETAILS**  
SCALE 1/2" = 1'-0"

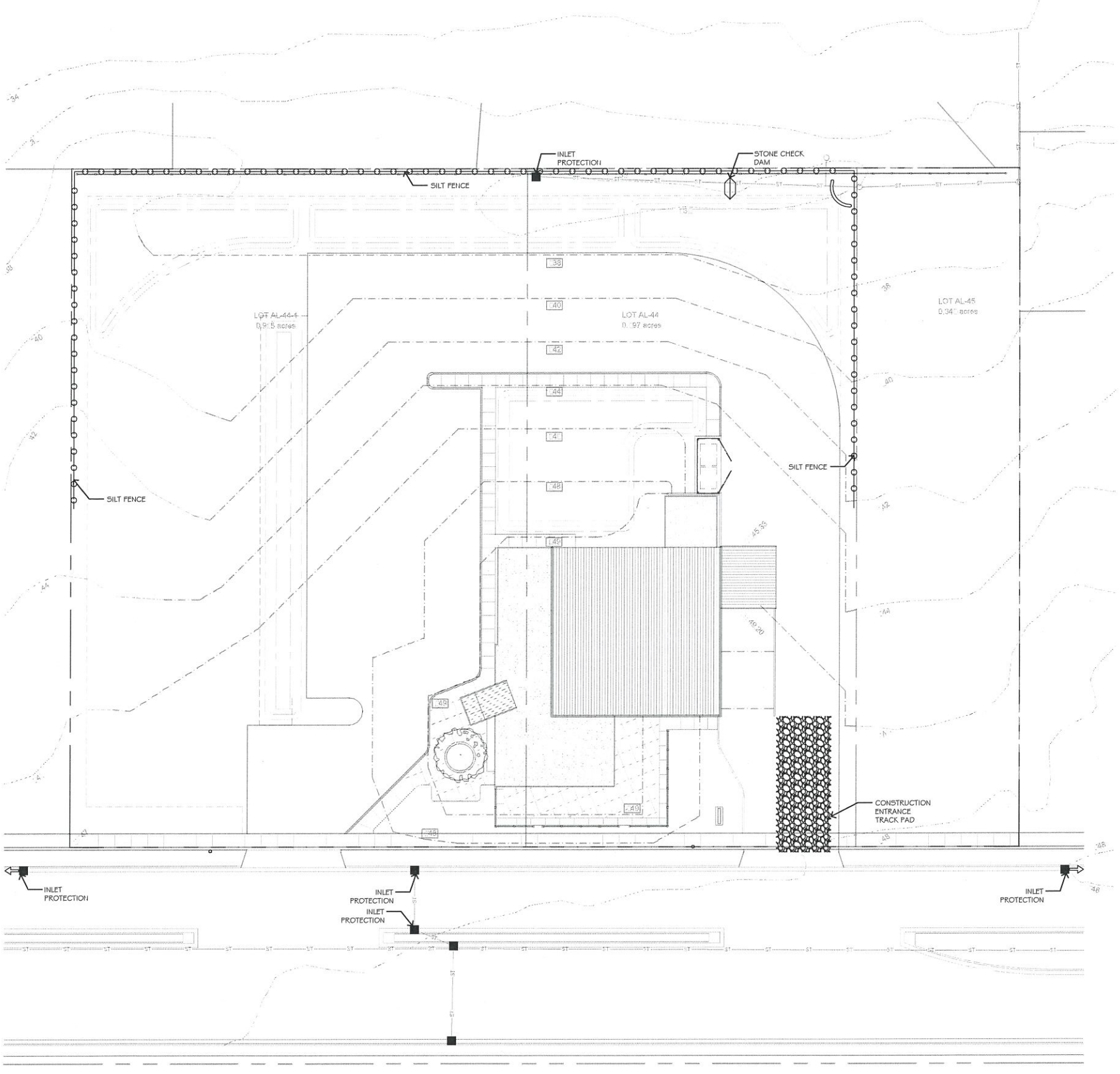
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4 CONCEPTUAL EROSION CONTROL  
SCALE 1" = 20'-0"



WILL BE REVISED ONCE  
SURVEY IS AVAILABLE

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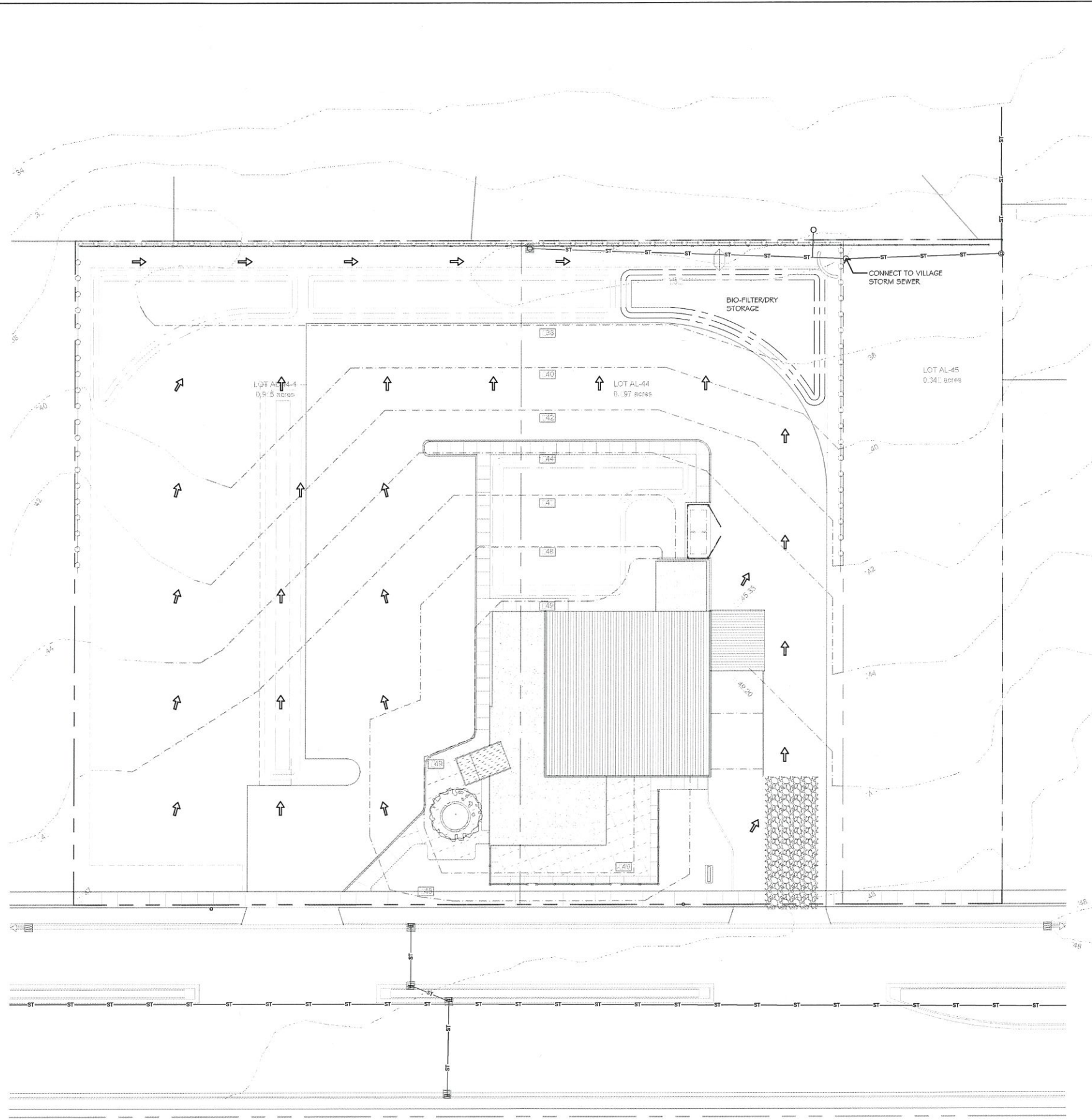
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C-1	



4 CONCEPTUAL GRADING & STORM WATER  
SCALE 1" = 20'-0"



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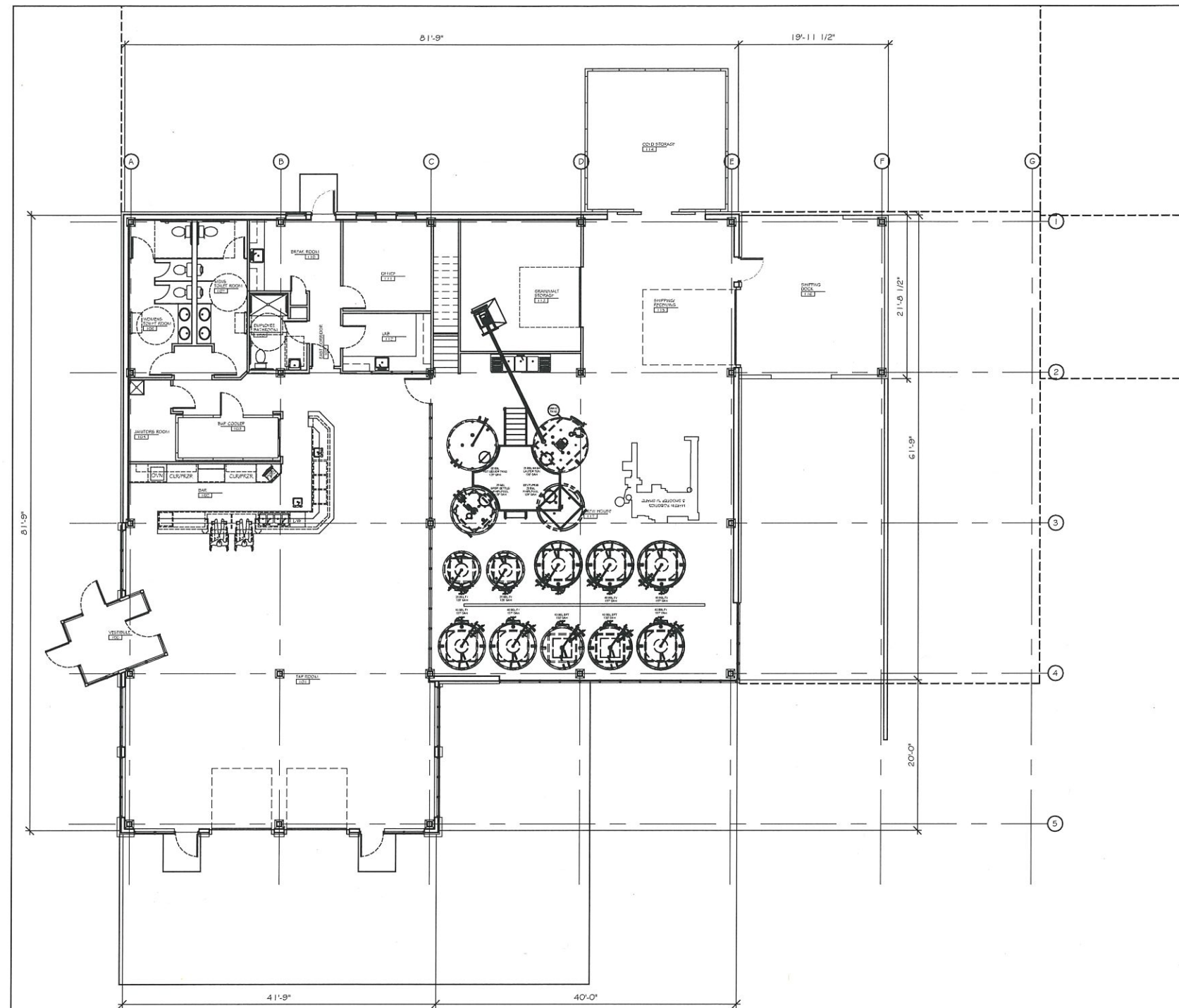
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C-2



**3 FLOOR PLAN**  
 1/8" = 1' - 0" OVERALL LAYOUT NORTH

**ROOM FINISH SCHEDULE**

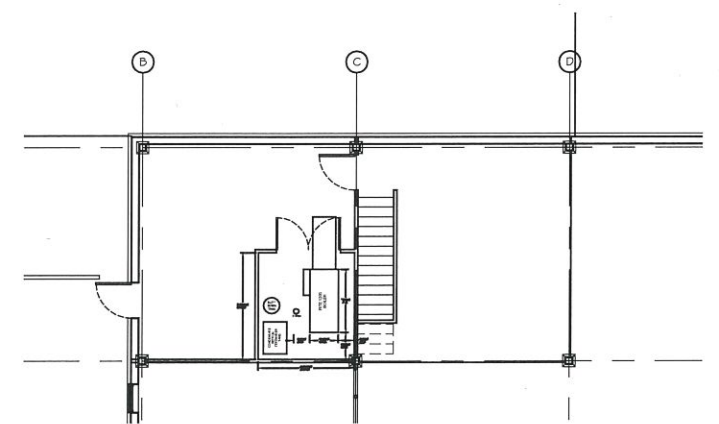
RM #	ROOM NAME	FLOOR		WALL FINISHES				CEILING FINISHES			REMARKS	
		SUBST	TYP.	BASE	N / NE	E / SE	S / SW	W / NW	TYPE	FINISH		HEIGHT
100	VESTIBULE	C	SL/ST	...	...	...	...	...	...	...	...	...
101	TAP ROOM	C	SL/ST	...	...	...	...	...	...	...	...	...
102	BAR	C	SL/ST	...	...	...	...	...	...	...	...	...
103	BAR COOLER	C	SL	...	...	...	...	...	...	...	...	...
104	JANITOR'S ROOM	C	SL	GB	CT	GB	CT	GB	CT	GB	P	...
105	NORTH CORRIDOR	C	SL	GB	CT	GB	CT	GB	CT	GB	P	...
106	WOMEN'S BATHROOM	C	CT	...	...	...	...	...	...	...	...	...
107	MEN'S BATHROOM	C	CT	...	...	...	...	...	...	...	...	...
108	EMPLOYEE BATHROOM	C	CT	...	...	...	...	...	...	...	...	...
109	EAST CORRIDOR	C	SL	GB	CT	GB	CT	GB	CT	GB	P	...
110	BREAK ROOM	C	SL	GB	CT	GB	CT	GB	CT	GB	P	...
111	OFFICE	C	SL	GB	F	GB	F	GB	F	GB	P	...
112	LAB	C	SL	WS	MP	WS	MP	WS	MP	...	...	...
113	GRAINMALT STORAGE	C	SL	GB	F	GB	F	GB	F	GB	P	...
114	COLD STORAGE	C	SL	GB	F	GB	F	GB	F	GB	P	...
115	SHIPPING/RECEIVING	C	SL	WS	MP	WS	MP	WS	MP	...	...	...
116	SHIPPING DOCK	C	SL	...	...	...	...	...	...	...	...	...
117	BREW HOUSE	C	SL	...	...	...	...	...	...	...	...	...
118	...	C	SL	WS	MP	WS	MP	WS	MP	...	...	...
119	...	C	SL	WS	MP	WS	MP	WS	MP	...	...	...
120	...	C	SL	WS	MP	WS	MP	WS	MP	...	...	...

**ABBREVIATIONS FOR ROOM FINISH SCHEDULE**

- EX EXISTING TO REMAIN  
 SUBST. SUBSTRATE  
 ... NO FINISH INDICATED/NA
- SUBSTRATE MATERIALS**  
 C CONCRETE  
 CMU CONCRETE MASONRY UNIT  
 GB GYPSUM BOARD  
 GL GLASS  
 WS WOOD SHEATING
- FINISH MATERIALS**  
 AT-# ACOUSTIC CEILING TILE  
 CA-# CARPET  
 CT-# CERAMIC TILE  
 MP-# METAL PANEL  
 P-# PAINT  
 RTR-# RUBBER TREAD/RISERS  
 SL-# SEALED CONCRETE  
 ST-# STAINED CONCRETE  
 S/V STAIN/VARNISH  
 V-# VINYL-SHEET FLOORING  
 VB-# VINYL BASE  
 VCT-# VINYL COMPOSITION TILE  
 WD WOOD-SOLID  
 WV WOOD-VENEER

**REMARKS FOR ROOM FINISH SCHEDULE**

- USE McELROY MINI-RIB PANEL
- .
- .
- .
- .
- .
- .



**20 FLOOR PLAN**  
 1/8" = 1' - 0" MEZZANINE NORTH

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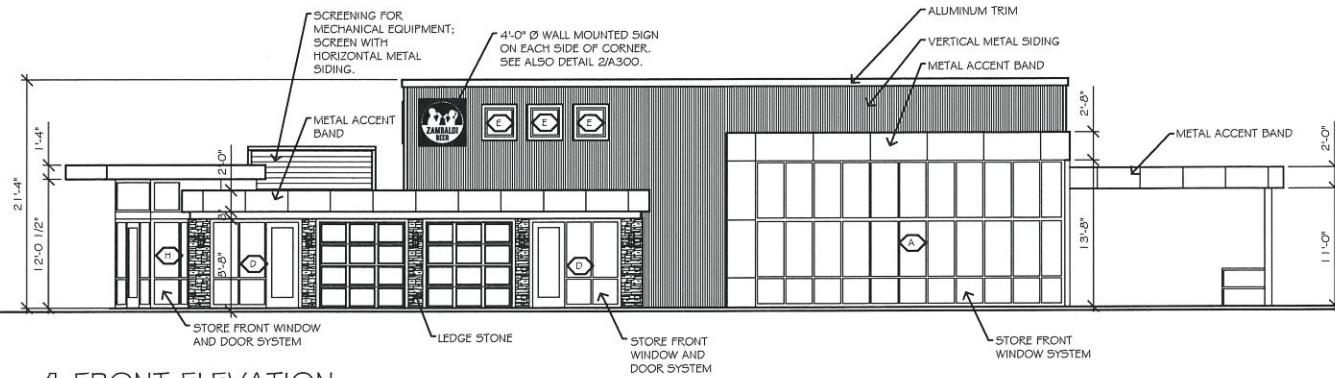
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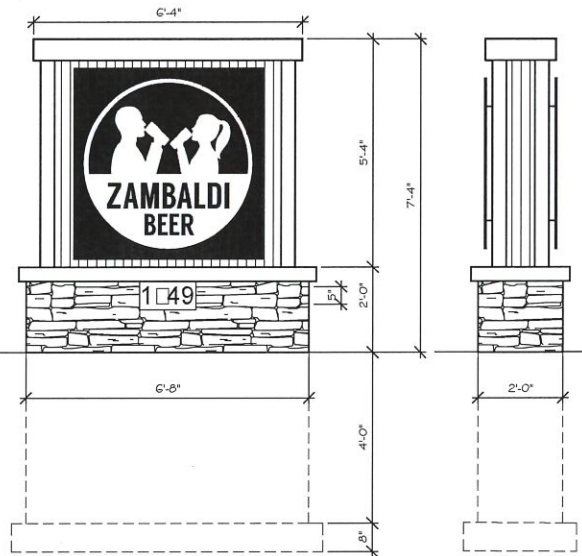
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A-200



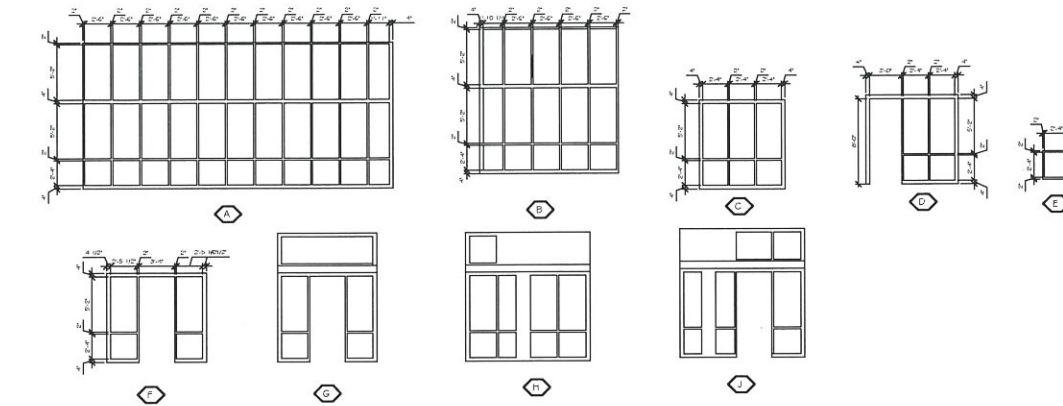
**1 FRONT ELEVATION**  
SCALE 1/8" = 1'-0"  
FACING WEST



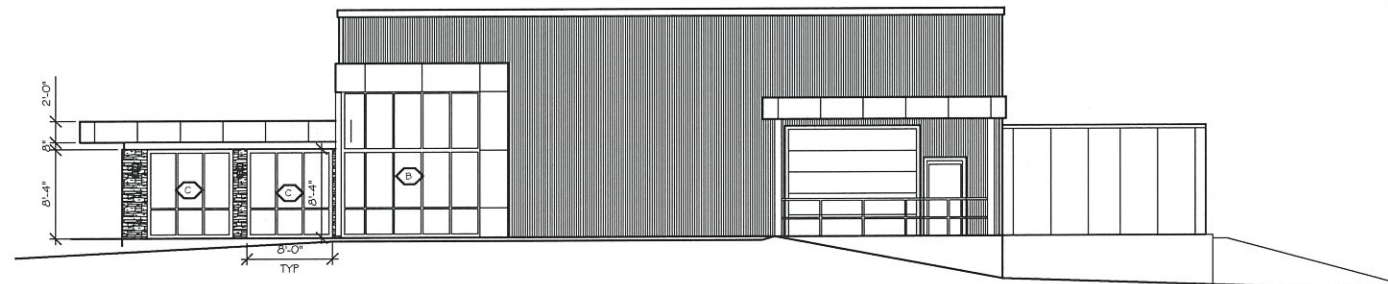
**2 ELEVATION**  
SCALE 1/2" = 1'-0"  
FACE and SIDE

SIGNS (3 LOCATIONS) TO BE 4'-0" Ø CUT FROM STAINLESS STEEL OR ALUMINUM WITH BRUSHED FINISH. SIGN TO PROJECT 2" TO 3" FROM BACKGROUND AND BE BACKLIT. FINAL DETAILS BY SIGN CO.

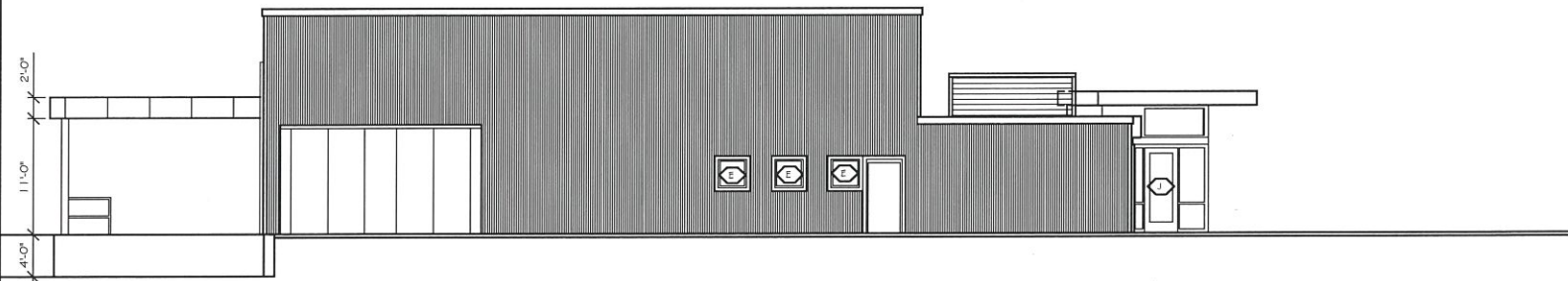
EACH SIGN IS APPROXIMATELY 12.5 SF. THE 2 WALL SIGNS TOTAL 25 SF, DO NOT EXCEED 4' IN ANY DIRECTION (COMBINED WIDTH OF 8' OF SIGN AND TOTAL DISTANCE FROM 'OUTSIDE EDGE TO OUTSIDE EDGE' OF SIGNS AS THE SIGNS "WRAP" THE CORNER IS 12'). THE FRONTAGE ON WEBSTER IS 290'.



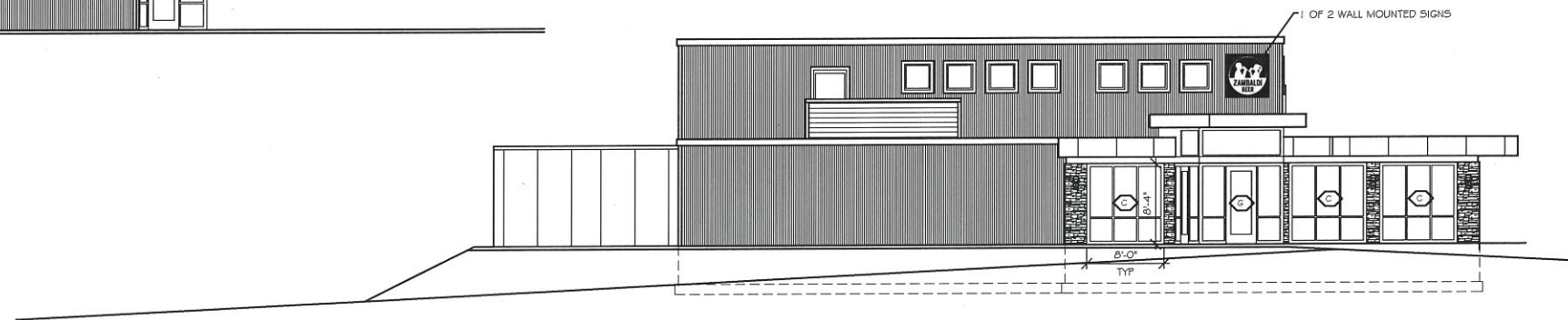
**13 WINDOW ELEVATIONS**  
SCALE 1/8" = 1'-0"



**14 SIDE ELEVATION**  
SCALE 1/8" = 1'-0"  
FACING SOUTH



**3 BACK ELEVATION**  
SCALE 1/8" = 1'-0"  
FACING EAST



**16 SIDE ELEVATION**  
SCALE 1/8" = 1'-0"  
FACING NORTH

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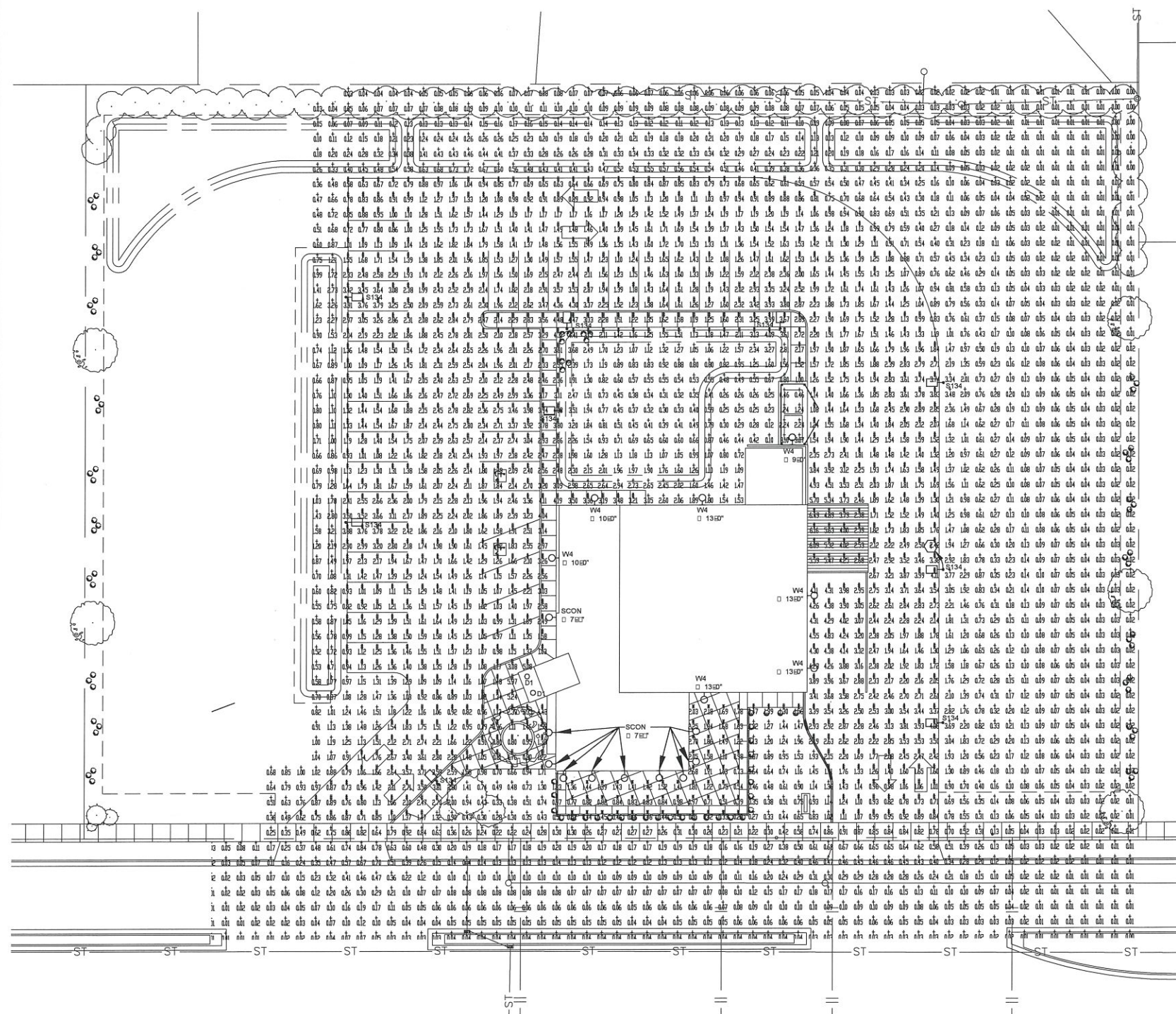
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- ### GENERAL NOTES - ELECTRICAL SITE PLAN
- ALL CIRCUITS SHALL BE ROUTED THROUGH PHOTO CELL/TIMECLOCK FOR CONTROL.
  - SEE DETAIL 1/ES1 FOR POLE BASE DETAIL.
  - ALL CONDUIT TO BE BURIED A MINIMUM OF 30" BELOW GRADE.
  - ROUTE DETECTIBLE YELLOW UNDERGROUND WARNING TAPE WITH ALL UNDERGROUND CONDUIT RUNS. WARNING TAPE SHALL BE TYPE 10.
  - COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS ON SITE INSTALLATION.
  - COORDINATE WITH PHONE COMPANY, CABLE COMPANY, AND POWER COMPANY FOR THEIR REQUIREMENTS. PROVIDE ALL REQUIRED EQUIPMENT PER THEIR REQUIREMENTS.
  - PRIOR TO FINAL ACCEPTANCE, PROVIDE ACCURATE MARGED UP PLAN SHOWING LOCATIONS OF BURIED CONDUIT.

- ### PLAN NOTES - SHEET ES1
- ROUTE NOTED CIRCUIT THROUGH LIGHTING CONTROL SYSTEM. ALSO SEE DETAIL X/EX.



**ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"

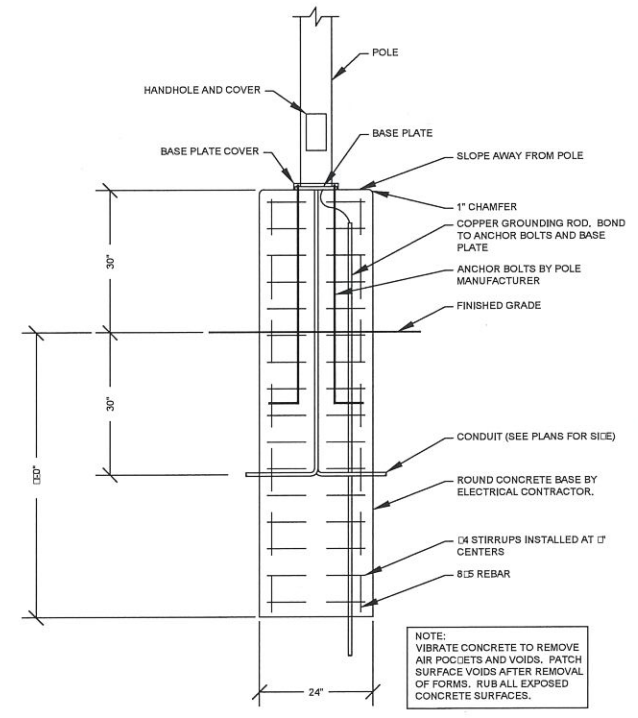
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### LIGHT FIXTURE SCHEDULE

FIXTURE TYPE	LIGHT FIXTURE			SYSTEM VOLTAGE/BALLAST	FIXTURE LAMPING				NOTES
	FIXTURE DESCRIPTION	MANUFACTURER	CATALOG NUMBER		LAMP CATALOG NUMBER OR TYPE	LAMP TYPE	LAMP WATTS	LAMP QTY.	
D1	6" 1000 LUMEN LED RECESSED DOWNLIGHT, 4000K, SPECULAR REFLECTOR, WHITE TRIM	LITHONIA METALUX	LDN6-40/10-L06/WR-AR-LS P06-10-ED010-PM06A-840-61VC-S-WF	120/277		LED		12	
SC0N	DECORATIVE WALL SCONCE WITH SHADE	ATLANTIC	TO BE CHOSEN BY THE OWNER						
S4	LED SITE LIGHT, TYPE 4 DISTRIBUTION, SPILL LIGHT ELIMINATOR, 4000K, BRONZE FINISH	LITHONIA LSI	DSX1LED-40C-530-40K-T4M TLM-ES3LED-E1-LSL4-BZ	120/277		LED		75	1
W4	LED WALL PACK LIGHT, TYPE 3 LIGHT DISTRIBUTION	LITHONIA LSI	WSTLED-P2-40K-WV IST-E01-LED-E1-BL3-BZ-7050	120/277		LED		25	

NOTES:  
1. PROVIDE 20'-0" POLE FOR EACH NOTED FIXTURE.

GENERAL NOTES:  
A. ALL NON-IC RATED FIXTURES INSTALLED IN AN IC APPLICATION SHALL HAVE THE SURROUNDING AREA BOXED OUT SUCH THAT INSULATION DOES NOT COME IN CONTACT WITH THE FIXTURE. FURTHERMORE, BOXING OUT OF THE FIXTURES DOES NOT REMOVE OR COMPROMISE THE REQUIREMENT TO MAINTAIN THE BUILDING INSULATION SYSTEM AS CALLED OUT IN OTHER AREAS OF THE CONTRACT DOCUMENTS.  
B. WHERE RECESSED FIXTURES PENETRATE THE BUILDING ENVELOPE BETWEEN CONDITIONED AND NON-CONDITIONED SPACES, THE PENETRATION SHALL BE PROPERLY SEALED TO ELIMINATE AIR MOVEMENT FROM A CONDITIONED SPACE TO A NON-CONDITIONED SPACE.



**POLE BASE DETAIL**  
1/ES1  
NO SCALE

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### CALCULATION SUMMARY

AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
site	439.90x360.20ft	New Grid / H-H	1991	5.00	(A)	0.34	3.77	0.00	15571	12284
			1102	5.00	(B)	1.15	5.70	0.28	9.77	4.16
						1.99	6.49	0.58	11.20	3.44

ALL SIDEWALKS AND PARKING PAVED AREAS INCLUDED IN THESE NUMBERS

### Zambaldi Brewery LUMINAIRE SCHEDULE

FIXTURE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
D1	○	EATON - HALO CD PUS10E010 - PM6A835E8V6 HALO COMMERCIAL 6 INCH RECESSE	(G)	1148		0.81	2
S134	□	EATON - MCGRAW-TESTP152370 INDRE:REPORT IS	(G3)	558432		0.81	9
SC0N	•	HUBBELL INDUSTR NVX15G56 VAPORTITE SERIES - NON-METALLI	(D) 150/821/IF	1440		0.81	10
W4	—	EATON - MCGRAW-TESTP139660 INDRE:REPORT IS	(2)	77668		0.81	8

### AREA SUMMARY SCHEDULE

AREA NAME	GRID	DIMENSIONS	LUMS / (ASMS)	WATTS / SQ FT	QTY
site	D01	439.90x360.20ft	101	101	1
			D1 (2)		
			S134 (9)		
			SC0N (10)		
			W4 (8)		

MIDWEST DESIGN SOLUTIONS, LLC  
217 Bay Settlement Rd  
Green Bay, WI 54311  
hslaw@midwestsolutions.com  
(920) 471-0805

ELECTRICAL SHEET INDEX 17-103

ES1	ELECTRICAL - SITE PLAN AND SCHEDULE
ES2	ELECTRICAL - SITE LIGHT FIXTURES

PRELIMINARY - CITY SUBMITTAL 08/21/17

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**ES1**  
ES1.dwg

**FIXTURE: D1 Halo Commercial**

**DESCRIPTION**  
Recessed 6-inch LED lens downlight is available in various distributions, lumens and CR/CT options. Suitable for commercial construction and can be used for both new or renovation work. Installation must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

Project	Date

**SPECIFICATION FEATURES**

**MECHANICAL**

**Frame**  
Boat shaped galvanized steel frame with adjustable plaster lip accommodates ceilings up to 1/2" thick. May be used for new construction or remodeling installations. Provided with (2) remodel clips to secure frame when installed from below the ceiling.

**Mounting Brackets**  
Bar hanger receivers adjust 2" vertically from above the ceiling or thru the aperture. Use with No Fuses™ bar hangers or with 3/4" EMT Removable to facilitate installation from below the ceiling.

**No Fuses™ Bar Hangers**  
Captive preinstalled bar hanger locks to tie grid with a screwdriver or pliers. Centering mechanism allows consistent positioning of fixtures.

**OPTICAL LED Module**  
Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no flicker. Available in 80 or 90 CRI minimum, accuracy within 3 SDCM provides color uniformity. See ordering information for available CRI / CCT options.

**Passive thermal management** achieves L70 at 50,000 hours in non IC applications. Integral diffuse lens provides visual shielding. Integral connector allows quick connection to housing flex.

**Reflector**  
One piece parabolic aluminum reflector provides cutoff for a visually comfortable optic. Attaches to LED module with (3) speed clamps minimizing light leaks to lens. Self-flanged standard with an optional white painted flange.

**Trim Retention**  
Reflectors are retained with two torsion springs holding the flange tightly to the finished ceiling surface.

**ELECTRICAL Junction Box**  
(6) 1/8" and (2) 3/8" trade size pry outs positioned to allow straight conduit runs. Listed for (12) #12 AWG (six in. six out) 90°C conductors and feed thru branch wiring.

**Driver**  
Integral UNV 120V - 277V 50/60 Hz constant current driver provides noise free operation. For 347V input use Halo transformer H347 or H347200. Continuous, flicker-free dimming from 100% to 10% with leading or trailing edge phase out at 120V or 0 - 10V analog control.

**Emergency Option**  
Provides 90 minutes of standby lighting meeting most life safety codes for egress lighting. Available with both integral or remote charge indicator and test switch.

**Compliance**  
- eULus listed for wet location  
- IP66 Ingress Protection Rated  
- Insulation must be kept 3" from top and sides.  
- Airtight per ASTM-E283.  
- Optional City of Chicago environmental air (CCCA) marking for plenum applications.  
- EMIRFI emissions per FCC 47CFR Part 18 non-consumer limits.  
- Contains no mercury or lead and RoHS compliant.

**Optics**  
Choice of twelve patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 278K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

**Mounting**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter for contractor-friendly arrival of product on site. Optional mounting methods include a wall mount plate, an external mast arm that accepts 2-3/8" O.D. horizontal tenons and direct mounting to pole or wall surfaces. Tenon adapters



PD610  
PD615  
PD620  
PD630  
PDM6A  
61V  
1000, 1500,  
2000 & 3000  
Lumen Series  
LED  
6-inch Aperture  
Lens Downlight

THD: ± 0.2%
PF: ± 0.90
T Ambient: -30 ~ +40°C
Sound Rating: ± 25dba

Lumens	1900 Series	Lumens	1500 Series	Lumens	2000 Series	Lumens	3000 Series
Input Voltage	120V 277V	Input Voltage	120V 277V	Input Voltage	120V 277V	Input Voltage	120V 277V
Input Current	103 A 268 A	Input Current	146 A 0.672 A	Input Current	175 A 0.886 A	Input Current	299 A 1.45 A
Input Power	12.1 W 13.2 W	Input Power	17.1 W 17.8 W	Input Power	20.78 W 21.06 W	Input Power	35.72 W 36.4 W
Efficiency	88 LPW 88 LPW	Efficiency	87 LPW 87 LPW	Efficiency	89 LPW 89 LPW	Efficiency	82 LPW 82 LPW
Inrush Current	0.37 A 0.77 A	Inrush Current	0.47 A 1.04 A	Inrush Current	0.54 A 1.21 A	Inrush Current	0.85 A 2.0 A



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11/03/2016

**FIXTURE: S4**

**DESCRIPTION**  
The Talon luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. Incorporating modular LED LightBAR™ technology, the Talon luminaire brings outstanding uniformity and energy-conscious illumination to walkways, parking lots, roadways, building areas and any security lighting application. UL/cUL listed for wet locations.

Project	Date

**SPECIFICATION FEATURES**

**Construction**  
One-piece heavy-wall, die-cast aluminum construction with integral reveal channels along top surface of housing. Optimized for reliable operation from 40°C down to -40°C. Internal cast-in wall separates optical and electrical chambers allowing components to operate cooler. Stainless steel latches and hinges allow for tool-less opening and removal of door frame.

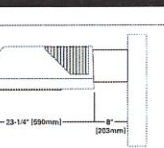
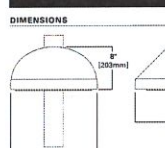
**Optics**  
Choice of twelve patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 278K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

**Mounting**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter for contractor-friendly arrival of product on site. Optional mounting methods include a wall mount plate, an external mast arm that accepts 2-3/8" O.D. horizontal tenons and direct mounting to pole or wall surfaces. Tenon adapters

**Electrical**  
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion. All fixtures are shipped standard with 10W/100A common - and differential - mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 80% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

**Finish**  
Housing and arm finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.



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**McGraw-Edison**



**TLM TALON MEDIUM LED**  
1 - 6 LightBARs  
Solid State LED  
ARCHITECTURAL AREA LUMINAIRE



**CERTIFICATION DATA**  
UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 LightBARs  
35 Vibration Rated  
ISO 9001  
DesignLights Consortium™ Qualified\*

**ENERGY DATA**  
Electronic LED Driver  
≥0.9 Power Factor  
≥20% Total Harmonic Distortion  
120-277V/60 & 60Hz, 347V/60Hz, 480V/60Hz  
40°C Minimum Temperature  
40°C Ambient Temperature Rating

**EPA**  
Effective Projected Area: (Sq. Ft.)  
1.89-w/6" Arm

**SHIPPING DATA**  
Approximate Net Weight:  
42 lbs. (19.09 kgs.)



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**FIXTURE: W4**

**DESCRIPTION**  
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightBAR™ technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal choice and security luminaire for areas surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Project	Date

**SPECIFICATION FEATURES**

**Construction**  
Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

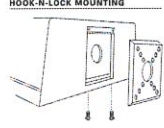
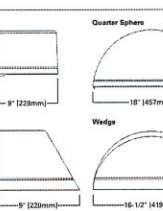
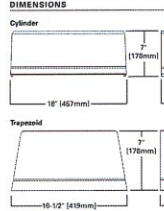
**Optics**  
Choice of six patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 278K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

**Electrical**  
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. Greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10W/100A common - and differential - mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 80% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

**Mounting**  
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

**Finish**  
Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.



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**McGraw-Edison**



**ISC/ISS/IST/ISW IMPACT ELITE LED**  
1 - 2 LightBARs  
Solid State LED  
WALL MOUNT LUMINAIRE

**CERTIFICATION DATA**  
UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 LightBARs  
ISO 9001  
DesignLights Consortium™ Qualified\*

**ENERGY DATA**  
Electronic LED Driver  
≥0.9 Power Factor  
≥20% Total Harmonic Distortion  
120-277V/60 & 60Hz, 347V/60Hz, 480V/60Hz  
40°C Minimum Temperature  
40°C Ambient Temperature Rating

**SHIPPING DATA**  
Approximate Net Weight:  
18 lbs. (8 kgs.)



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Verify all existing site conditions.  
REVISIONS:

SHEET INDEX:

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- PRELIMINARY -  
CITY SUBMITTAL 08/21/17

ES2  
ES2.dwg



# Final Review of Planned Development District – Staff Comments

2A

**Site:** 1649 S. Webster Avenue (Parcel AL-44, AL-44-1)  
**Development:** Zambaldi Brewery and Taproom  
**Developer Representatives:** Zambaldi Brewery – Abigail & David Malcolm – Malcolm Management LLC.; Dimension IV – Dan Roarty AIA, LEED AP – Principal and Senior Architect; Mach IV – Bob Mach - Engineer

- Zoning Department review:

Zoning district (proposed)		Commercial District		
Building use (not allowed)		Restaurant/Tavern and Industrial Manufacturing (Taproom and Brewery)		
		Required	Provided	Notes
Height		Lesser of 50' or 4 stories	21' 4"	
Lot	Area	No minimum	71,050SF	
	Frontage	No minimum	290'	
	Green space	No minimum	49.7% (current)	
Setback	Front	15'	Standards met	
	Side (inner)	6'	Standards met	
	Side (corner)	N/A	N/A	
	Rear	10'	Standards met	
Parking	Number	Restaurants and taverns (1/100SF + 0.5/employee on shift)	2 (4 employees) + 30 (3000SF Taproom) + 5 (4770SF Brewery space) = 37 spaces required	37 spaces provided (current)  Written perpetual parking easement agreement will be established with the parcel to the south. Parking on unpaved surface should be reserved for special events only. Motor cycle parking cannot be counted towards parking requirements.
		Industrial or manufacturing establishments (greater of 1/100SF or 1/employee)		
	Size	10'x20'	Standards met	Stall widths could go down to 9'x18' if desired for additional parking
	Bicycle	Bicycle parking should be provided		Recommend a bicycle rack which accommodates a U-shaped lock and the ability to secure the bike frame and both wheels. Also maintain the rack out of the pedestrian zone.
Off-Street Loading Requirements		Screened from residential uses Areas should be surfaced with bituminous asphalt or concrete Screened from adjacent uses at minimum 5' from final grade	N/A Standards met Metal railing shown. Fence shown at property line.	Detail of what the fence will look like should be provided if required.
Access	Automobile	24' drive lanes with 90 degree parking, 18' for 60 degree, 14' for 45 degree	Standards met	
	Pedestrian	ADA compliant sidewalks	Standards met	Parked vehicles should not overhang so as to make the sidewalk less than 5' wide. ADA ramp should be provided at handicap parking hashed lines
Architecture		Varied rooflines and other architectural designs that break-up the building mass	Standards met	
Exterior finishes		Brick, stone, glass, fiber cement siding, EFIS, stucco, wood siding	Stone, Corrugated metal	Corrugated metal may be allowed if approved by the Plan Commission and Village Board
Lighting		Dark sky compliant, no light directed towards ROW, no more	Standards appear to be	The light spillage of more than 0.5FC is into greenspace to be owned by owner (plan N side) and into public ROW (plan W side). Detail of the

		than 0.5FC at commercial property line or 0.2FC at residential property line, must be shut off at 10p.m. or at time of closing.	met	decorative light should be provided to staff when selected to ensure standards are met.
Sign	Monument	32 SF/side (64 SF total) Setback 15' from a driveway Street address on the base of the sign (minimum 5" numbering) Decorative base at least 2' high of same or similar materials as principal building 2' landscaped area surrounding base	Standards met Standards met Standards met Standards met	Signs are approved through staff review, unless a variance is requested. Variance from the sign code is allowed through the PDD process, but more detail should be provided.
	Wall	1 wall sign per business Primary wall signs shall be no larger than 15% of the business street frontage. Total area cannot exceed 0.5 SF/lineal foot of lot frontage. Wall signs cannot extend further than 18" from the wall	2 wall signs proposed. Further detail should be provided.	
	LED Message Center	N/A	N/A	
	Illumination Standards	N/A	N/A	
Fences/Screening		6' wide landscaped area on border of residential lot, with 1 tree/35', and berm, fence, wall, or landscape barrier between 6'-8' high and 90% opaque; dumpster must be located at rear and be screened using same finishes as primary structure; mechanical equipment must be screened from street	Keep existing chain-link fence and vegetation, with additional tree 1/35'	Waiver may be granted by the Village Board for screening from residential lot with neighbor's written permission.

\*\*All other zoning requirements for Commercial District stipulated in Chapter 475 of Village Ordinances should be met to the highest degree possible.

- Fire Department review:
  - A *Knox Box* brand lock box should be located at the main entrance of the building.
  - The building will not contain a sprinkler system, so a *Storz* connection is not needed.
- Parks, Recreation, and Forestry Department review:
  - A landscaping plan should be provided for review by staff.
- Public Works Department review:
  - Conditional approval. Letter to follow from Public Works.
- Additional comments:
  - Location of where construction vehicles will be staged should be discussed.
  - The building has been shifted 60' to the north on the architectural plans (this is the desired site plan by the developer). Final plans should include an updated site layout on the engineer plans as well, which meet the village ordinances not specifically called out in the PDD.

Date Reviewed: 28 September 2017

Comments Submitted By: Trevor Fuller, Village of Allouez Planning & Zoning Administrator