MINUTES
PUBLIC WORK'S COMMITTEE MEETING
Wednesday, March 14, 2018
5:30 P.M., Allouez Village Hall

Present: Jim Rafter, Curt Beyler, Lynn Green, Rick King, Craig Berndt, Chris Clark, Jeff

Piette and Brad Lange. Excused: Jim Genrich

1. MODIFY/ADOPT AGENDA

In the absence of Chairperson Genrich, Lynn Green was nominated Chairperson. Meeting called to order at 5:30pm by Chairperson Green.

Motion to approve the agenda as presented by Rafter/Beyler. Motion carried.

2. APPROVE MINUTES from the February 14, 2018 meeting.

Motion by Rafter/Beyler to approve the minutes of February 14, 2018 as presented. Motion carried.

OLD BUSINESS:

NONE

NEW BUSINESS:

3. DISCUSSION/ACTION: PRIVATE STORM LATERAL AT 361 BRYAN STREET (DPW Berndt).

Berndt explained the process for notifying residents in conjunction with a street and utility reconstruction project regarding the storm sewer and sanitary sewer laterals replacement program.

Piette explained the process he uses to communicate with the residents and contractors for the replacement of laterals or installation of laterals to properties that currently do not have one. An original and a copy of the form are sent to each resident with options, estimated costs, signature and a self-addressed stamped envelope. The contractor receives from the village a list of properties that have agreed to have a new lateral installed. Any changes to the agreement would need to come through his office and no contractor is allowed to deviate without his approval.

Motion to suspend the rules by Rafter/Beyler

Becky Goodwin, 361 Bryan – They did not want to have a storm lateral installed from the get go. Did speak with someone on site and they said they could install a riser. Not sure what happened, but when they returned home, the private property storm lateral was installed to their house.

Berndt – we would not allow a riser to be placed.

Rafter – is there a reason you didn't want this installed?

Mike Goodwin – our sump pump line drains onto our landscape plantings.

Beyler – the work has been completed and there is value to having the lateral.

Motion to pick up the rule by Beyler/Rafter.

Beyler/King moved to recommend to the Village Board a 50/50 split of \$1,038.00 for the cost of the lateral. Motion carried.

Mike Goodwin is acceptable to that recommendation

4. DISCUSSION/ACTION: ORDINANCE UPDATE FOR PRIVATE LATERALS (DPW Berndt).

Berndt explained that requiring defective private property sanitary lateral replacement during a reconstruction project is something Public Works has been evaluating for some time. This is being considered or already required by the other municipalities, and will help to reduce clearwater intrusion into the village sewer system. This is part of the GBMSD efforts to reduce excess flows as well. Public Works recommends sending the draft ordinance to legal counsel for review and any language clarification. It was the committee consensus to proceed to legal counsel.

5. DISCUSSION/ACTION: PARKING LOT PROJECT AT MIRACLE FIELD (DPW Berndt).

Clark has been working with the Miracle League of Green Bay. Over the past 10 years the Miracle League has made over \$900,000 in improvements to the park. The goal for 2018 is to redo the parking lot and add 90 degree parking spots along Kalb. The Miracle League is willing to cover 75% of the total cost to do the work and are asking the village to cover 25%. The proposed work is in the Parks CIP plan for 2020/2021.

Rafter/King moved to recommend to the Village Board approval as requested. Motion carried.

6. DISCUSSION/ACTION: FUNDING FOR MIRACLE FIELD AND WARREN COURT PROJECTS (DPW Berndt).

A cost update of the 2017 bond expenditures was presented, and the analysis shows that remaining funds are available that could be used for the Miracle League parking lot project and for the water main replacement that is needed on Warren Court (previously discussed at committee). It is recommended that these remaining funds be used for these two projects.

Rafter/Beyler moved to recommend to the Village Board approval as recommended by staff. Motion carried.

7. DISCUSSION/ACTION: APPROVAL TO PROCEED WITH WEST ST. JOSEPH STREET PROJECT (DPW Berndt).

Berndt requested direction from the committee as to whether or not to begin the topo work, design work, and cost estimating for west St' Joseph Street to include this street the 2019 street and utility reconstruction project. The project is in the TIF District and could be funded in part or completely by the TIF.

Rafter/Beyler moved to recommend to the Village Board to begin the engineering of W. St. Joseph and to bring the item back at the next Public Works meeting. Motion carried.

8. DISCUSSION/ACTION: RESOLUTIONS IN SUPPORT OF BETHEL POND STORMWATER PROJECT (DPW Berndt).

Berndt is planning to submit the WDNR grant before the April deadline. The resolution is part of the grant process.

Rafter/King moved to recommend to the Village Board passing the Resolution in Support of Bethel Pond Stormwater Project. Motion carried.

DISCUSSION:

9. ADJOURNMENT

Beyler/King moved to adjourn at 6:14pm. Motion carried.

Minutes by B. Lange and C. Berndt, March 16, 2018



Allouez Village Hall • 1900 Libal Street • Green Bay, Wisconsin 54301-2453 Phone No.: (920) 448-2800 • Fax No.: (920) 448-2853

Department of Public Works

March 8, 2018

Mike and Becky Goodwin of 361 Bryan Street are questioning the installation of a private side storm sewer lateral as part of project AL-2017-01. They believe that the work that was completed was not authorized. We do have a signed contract authorizing the village to have to work done.

During a street reconstruction project the village does provide for the installation/replacement of private side services (from property line to house). We ask that the resident sign a Waiver of Special Assessment allowing us to complete the work on private property and to bill them after the project is completed. We also ask the homeowner to check a box next to the work that they want completed. We use this waiver to instruct the contractor to perform the work needed.

The issue here is that the village has signed waiver, with the storm sewer box checked instructing us to install a private side storm sewer lateral at 361 Bryan Street. The Goodwin's have a copy of the signed waiver with an unchecked storm sewer box. We contend that the work was authorized, completed and should be fully invoiced based on the signed waiver that was mailed back to us. They disagree and want to know what their options are.

We did have a face to face meeting with the Goodwin's that went well but left the situation unresolved. It was presented to them that the next step would be to bring this to the Public Works Committee and possibly the Village Board.



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Department of Public Works

ORDINANCE UPDATE TO REQUIRE DEFECTIVE PRIVATE SEWER LATERAL REPLACEMENT DURING RECONSTRUCTION PROJECTS

This is a topic we have discussed on several occasions—replacing private sanitary sewer laterals that have failed or have excessive clear water leakage—during street reconstruction projects.

At this time the village encourages residents to replace failed sewer laterals during a street reconstruction project, and compliance is reasonable (a bit better than 50%). The village also provides low simple interest (3%) loans with a 5-year term for financing lateral replacement if desired by the resident.

While compliance with lateral replacement is fairly good, it is important to replace all failed laterals because each failed lateral can be a significant source of clear water resulting in higher GBMSD sewer charges. This is our future area of focus to reduce clear water intrusion into the Allouez sewer system. The area communities are focusing on this issue and it is felt this is the best approach for all communities to control clear water flow to GBMSD.

It is recommended that the attached Section D be added to Ordinance 350-40. This will be forwarded to legal for review and subsequently brought to the village board for adoption.

C. Berndt, March 8, 2018

I. Compliance with this section. The Village shall establish and maintain an inspection program for compliance with this section. This inspection program shall include inspection of a portion of the Village each year for clear water violations, and order compliance for each residence or building not in compliance with this section. Up to a ninety-day period for compliance may be provided. The penalties identified in Subsection H shall apply.

§ 350-40 Maintenance of sewer laterals and water services.

This policy applies to maintenance of sanitary sewer laterals, storm sewer laterals and water services and the procedure for household sewer backups.

A. General policy.

- (1) The Village of Allouez is responsible for maintenance of mainline sewers and water mains in the roadway. The Village provides scheduled sewer cleaning to ensure the sanitary sewer mains do not experience blockages.
- (2) The property owner is responsible to maintain the sanitary and storm laterals clear of grease, leaves, rags, tree roots and other foreign material from the sanitary and storm sewer in the roadway to the property owner's house/building. The property owner must use a sewer lateral service contractor for this maintenance. Routine maintenance of the entire lateral is the property owner's responsibility.
- (3) If a property owner experiences a basement sewer backup, the Village cleans and inspects the main sewer in the roadway to ensure there is no sewer blockage. The Village prepares a record of the basement backup event.
- (4) A defect or failure of a sanitary or storm lateral or a water service is defined as a broken pipe, a collapsed pipe, excessive root growth in the pipe, or a break at the connection to the main sewer or at the private property connection to the Village installed lateral. A water service failure is usually a leak in the service with water present on the ground or in a household sump pit.
- B. Private property sewer backup or water leak procedure.
 - (1) If a sanitary or storm lateral backup or a water service leak occurs the property owner should immediately notify the Village. Call the Water Utility or the Public Works Department.
 - (2) If a sanitary or storm lateral or water service backup or failure occurs, the property owner is encouraged to immediately contact his homeowner's insurance for assistance with the basement cleanup and other costs.
 - (3) If a basement sewer backup occurs, the property owner must contact a sewer lateral service contractor to have the sewer lateral cleaned and/or televised. The property owner/contractor must contact the Village to make sure that a Village representative is present during the televising or provide a videotape of the televising to the Village.
- C. Responsibility for sewer lateral and water service repairs.
 - (1) If a defect is discovered in the sanitary sewer or storm sewer lateral, the property owner must make necessary repairs utilizing a sewer lateral service contractor/excavator. It is the private property owner's responsibility to coordinate and complete the lateral repair. The property owner must inform the Village of the schedule for the repair so the Village can observe the repair and determine the responsibility for the repair cost.
 - (2) If the defect or failure is within the street right-of-way (from the sewer main to the point of connection to the private lateral) the cost to repair including televising is a Village cost. The property owner will be reimbursed for the cost.
 - (3) If the defect or failure is at the point of connection to the lateral or in the service from the point of connection to the house/building, the repair cost is the property owner's, including the televising cost.

- Failure of the point of connection to the lateral is considered a property owner cost because the connection was made by the property owner.
- (4) The same criteria apply to a water service lateral except that the point of connection is the water shutoff valve at the curb stop.
- (5) The point of connection of a lateral or water service is generally located between the back of curb and the street right-of-way property line. The exact location of the connection point may vary depending when the lateral was installed and other factors.

§ 350-41 Sanitary sewer and water service connection fees.

- A. All property owners shall pay to the Village of Allouez, at or before the time of connection, a fee which shall include the cost of materials, construction, laying and connecting laterals and sewer pipes from a sanitary main, interceptor or lateral to the lot line, or to the building to be serviced, or both. A separate fee shall be assessed for the cost of providing the water service to the property and the cost for water supply capacity provided by the Central Brown County Water Authority for service provided to the property. Alternately, the property owner may sign an assessment agreement with the Village prior to the work which shall assess the installation cost of a lateral or water service over a period of up to five years at an interest rate established by the Village.
- **B.** This connection fee shall not be applicable in the event that the property has been assessed, or an assessment has previously been paid, for a sanitary sewer main or water service.
- C. In the event that the connection fee is not paid at or before the time of connection, the Clerk-Treasurer shall place the fee on the tax rolls as a special assessment, whereupon it shall be a lien against the lot or parcel served.

§ 350-42 Water pollution control rules, regulations and charges.

- A. Purposes and scope. The Village of Allouez in cooperation with the Green Bay Metropolitan Sewerage District has provided facilities for collection, transmission and treatment of wastewater to promote the health, safety and convenience of its people and to safeguard the water resources common to all. In such facilities, provisions of design, construction and operation have been made to accommodate certain types and quantities of commercial and industrial wastes in excess of, and in addition to, normal wastewater. The Village Board has determined that it is the obligation of the producers of domestic, commercial and industrial wastes to defray the cost of normal, and extraordinary, services rendered by the Village of Allouez in the collection, transmission, and treatment of such wastes in an equitable manner and, insofar as it is practicable, in proportion to the benefits derived from such services. It has been also determined that proper protection and operation of the collection and treatment facilities may require either the exclusion, pretreatment or controlled discharge, at point of origin, of certain types or quantities of domestic, commercial and industrial wastes.
- B. Definition of terms. As used in this section, the following terms shall have the meanings indicated:

APPROVING AUTHORITY

The Village Board of the Village of Allouez.

BIOCHEMICAL OXYGEN DEMAND (BOD)

The quantity of oxygen, expressed in parts per million by weight, utilized in the biochemical oxidation of organic matter under standard laboratory conditions for five days at a temperature of 20° C. The laboratory determinations shall be made in accordance with procedures set forth in Standard Methods.

CLEAR WATER

All water which conforms to the natural analytical quality of water and not having been polluted or contaminated by use.

GBMSD

The Green Bay Metropolitan Sewerage District.



- D. Responsibility for sewer lateral and water service replacement.
 - (1) A private property sanitary sewer lateral determined to be defective during a street and utility construction project shall be replaced by the private property owner during the project. A defective sewer lateral includes old cast iron or defective concrete sewer pipe, root intrusion, cracked pipe, defective joints, collapsed pipe, or excessive clear water leakage. A defective sewer lateral is determined by television inspection of the lateral, or by visual observation during the construction work.
 - (2) Private property owners may utilize the village contractor to replace defective sewer laterals, and such replacement will be coordinated by the village. The cost of private lateral replacement shall be assessed to the property as defined in an agreement between the village and property owner.
 - (3) The village shall provide a financing option for lateral and water service replacement, which shall include a five-year term and competitive simple interest rate. The property owner shall have the option of payment in full, use of the village financing, and early pay-off of a village financed loan.

Memo

To:

Public Works Committee

From: Chris Clark, Director of Parks, Recreation, & Forestry

Re:

Optimist Park Parking Lots Construction Project

Date:

March 14, 2018

Background Information:

In 2017 the Public Works Department began including Village parks and facility parking lot and roadway paving projects into the long range street maintenance and reconstruction plan. The project at Optimist Park was initially scheduled to be included in the 2021/2022 construction cycle. The Parks Department is looking at re-constructing the existing 38 stall parking lot off of Libal Street due to the poor condition of the asphalt surfacing and the subbase. As part of the work on the parking lot we would be looking to widen the entrance to better allow for ingress/egress.

Optimist Park typically sees a lot of vehicular traffic due to the use by the Miracle League of Green Bay for their inclusive baseball league as well as the popularity of this park. This causes some parking and traffic issues as the current parking lot is inadequate to accommodate the needs, especially during game nights. Due to this need, the department recommends the installation of additional parking along Kalb St. The proposed parking area will accommodate 44 additional vehicles off of the street (see attached design). This additional parking area is noted as proposed development for Optimist Park in the Allouez Comprehensive Outdoor Recreation Plan.

In recent months, the Miracle League has requested that the village move this project schedule up to the spring of 2018. They are willing to contribute financially to the project at this time. The Miracle League has contributed over \$900,000 toward park improvements in the village in the last 11 years, mostly at Optimist Park.

Currently the department is working with engineering to bid this project along with the Public Works street resurfacing projects in anticipation of receiving better pricing. This has been done with other park paving project in the past few years with great success on obtaining very good pricing on those projects, ultimately saving the village thousands of dollars.

Budget Item/Funding:

The overall estimated cost for this project is \$132,000. The Miracle League is offering to partner in this project by contributing 75% of the cost. The Village would fund 25% of the cost, or approximately \$33,000, which would come from the Parks Capital Improvement Fund.

Attachments:

Optimist Park parking lot preliminary design plans





The Village of Mouses provides this drawing and disturguestless of form for informational and reference purposes ently Locations and an enterence purposes ently Locations and are not intended to be mindfilled for on able impactions and are not intended to be mindfilled for on able impactions; and are not intended to be mindfilled for on able impactions. The user of this document agrees to had the Village of Allocus Laminess for any use other than for reference purposes only

OPTIMIST PARK 1680 LIBAL ST. VILLAGE OF ALLOUEZ, WISCONSIN KALB STREET PARKING DESIGN







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OPTIMIST PARK 1680 LIBAL ST. VILLAGE OF ALLOUEZ, WISCONSIN PARKING LOT DESIGN



VILLAGE OF ALLOUEZ

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Department of Public Works

FUNDING FOR MIRACLE LEAGUE AND WARREN COURT PROJECTS

Attached is a summary of the 2017 bond borrowing funding updated to the best estimate of total expenditures from the bond.

The summary shows that the major projects were completed within budgets.

The remaining projects to be completed are shown. Funds are available to complete these projects (SRTS, GIS, Standpipe).

The funds for the Libal Street design have been allocated to design for the 2019 reconstruction project (previous board approval) and are proposed to be used for other immediate needs.

There are three projects that have developed and have immediate needs.

- 1. Fund a portion of the Miracle League project at \$33,000.
- 2. Fund the water main replacement on Warren Court. The other street costs will be from the Public Works budget.
- 3. Fund the Marine Street sanitary sewer replacement on lot AL-3 (under the pedestrian crossing).

The Miracle League and Warren Court are proposed to be funded from remaining 2017 bond funds.

The Marine Street sanitary sewer will be funded from any remaining bond funds and the sanitary utility fund.

Recommendation.

Approve the Miracle League and Warren Court funding from the remaining 2017 bond fund.

Approve using any remaining 2018 bond funds for the Marine Street sanitary sewer (partial funding).

C. Berndt, March 8, 2018

SUMMARY OF 2017 BOND EXPENDITURES

Street	and	Litility	Reconstruction	Project
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d Othicy Reconstruction Project	
Contractor Payments thru Pay Request #7	\$2,461,484
Contract Retainage to be paid	\$57,832
Final Mat payment (est)	\$112,900
Turf Restoration (est)	<u>\$12,000</u>
Subtotal	\$2,644,216
Less Storm Lateral Assessments	(\$73,000) (Assessment Fund)
Less Private Lateral Assessments	(\$223,584) (Assessment Fund)
Total Construction Cost	\$2,347,632
Engineering during construction	\$134,140
Engineering record drawings (to 12/31/17)	\$9,071
Engineering record drawings (est to complete)	<u>\$5,000</u>
Total Project Cost (est to completion)	\$2,495,843
Bond Expenditures Planned	
Construction Cost	\$2,250,144
Construction Contingency	\$134,913
Engineering	<u>\$200,000</u>
Total Project Cost	\$2,585,067
Park Projects	
Green Isle Trail Project Total Cost	\$327,301*
Green Isle Entrance Project	<u>\$105,142</u>
Total	\$432,443
Bond Expenditures Planned	
Trail Project	\$370,000
Entrance Project	<u>\$63,114</u>
	\$433,114
eter Install Project	
Meters and Installation	\$256,320

Water Met

Green Isle

Meters and Installation \$256,320

Total Bond Expenditures Estimated to Completion

Street/Utility Project	\$2,495,843
Meter Install Project	\$256,320
Parks Projects	\$432,443
Total Expenditures	\$3,184,606

Less Stadium and General Funds (\$550,000) \$2,634,606 Remaining Cost to Bond

Note: *Grant for trail project not included in cost. May reserve grant funds for next Parks paving project in 2019.

REMAINING PLANNED 2017 BOND EXPENDITURES

Public Works Projects

Webster School SRTS Project	\$100,000	
GIS Update Record Dwgs	\$25,000	
Libal St Design (project delayed to 2019)	\$0	(transfer \$80,000 to
Water Standpipe Repair Project	\$135,000	other projects)
Subtotal	\$260,000	
Subtotal from page 1	\$2,634,606	
Total 2017 Bond Expenditures	\$2,894,606	

Unplanned Projects Added

\$25,000	(VB approved)
\$7,500	(VB decision to add
\$2,927,108	St Joseph St)
\$68,000	
\$33,000	
\$30,000*	
	\$7,500 \$2,927,108 \$68,000

Original 2017 Bond Issue

Total

Original 2017 Bond Issue	\$3,040,800
Oliginal ZOT/ Dolla issue	75,010,000

Remaining Balance

\$12,692

\$3,028,108

Note: *Emergency sewer replacement to be funded using any residual bond funds plus operating funds.

C. Berndt, March 8, 2018

Craig Berndt

From:

Nick Vande Hey < NVandehey@mcmgrp.com>

Sent:

Friday, March 09, 2018 4:47 PM

To:

Craig Berndt

Subject:

Bethel Pond - Grant Resolutions & Letters

Attachments:

Bethel Pond Resolution 1-2018 SW Grant Cost Sharing.docx; Bethel Pond Resolution

2-2018 SW Grant.doc; Bethel Pond Letter of Support Kiwanis.doc

Craig,

For the Bethel Pond grant applications, attached are two resolutions. One resolution is required and the other resolution helps maximize grant scoring.

Also, attached is a sample letter of support that helps increase grant scoring. I prepared the letter of support for the Kiwanis Club, but you could get a letter from any Allouez based civic or community group (i.e. business association, rotary, optimist, lions, etc). More than one letter of support can be provided, but we only need one letter to get the grant points.

Can you email me the recorded easement for the pond property? The easement will show that the Village already has the necessary landowner support for the pond project.

Thanks.

Nick Vande Hey, P.E.

ASSOCIATE / SENIOR PROJECT ENGINEER



The McMAHON Way...Values. Culture. Relationships.

McMahon Associates, Inc.

1445 McMAHON DRIVE NEENAH, WI 54956

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RESOLUTION -2018

URBAN NON-POINT SOURCE & STORMWATER GRANT PROGRAM VILLAGE OF ALLOUEZ, BROWN COUNTY, WISCONSIN

WHEREAS, the Village of Allouez is interested in obtaining a Grant from the Wisconsin Department of Natural Resources for the purpose of implementing measures to control agricultural or urban stormwater runoff pollution sources (as described in the application and pursuant to ss. 281.65 or 281.66, Wis. Stats., and chs. NR 151, 153 and 155); and

WHEREAS, a cost-sharing grant is required to carry out the project:

THEREFORE, BE IT RESOLVED, that the Village of Allouez

HEREBY AUTHORIZES, the Village Public Works Director to act on behalf of the Village of Allouez to:

- Sign and submit an application to the State of Wisconsin Department of Natural Resources for any financial aid that may be available;
- Sign a grant agreement between the Village of Allouez and the Department of Natural Resources;
- Sign and submit reimbursement claims along with necessary supporting documentation;
- Sign and submit interim and final reports and other documentation as required by the grant agreement;
- Sign and submit an Environmental Hazards Assessment Form, if required; and
- Take necessary action to undertake, direct and complete the approved project.

BE IT FURTHER RESOLVED that the Village of Allouez shall comply with all state and federal laws, regulations and permit requirements pertaining to implementation of this project and to fulfillment of the grant document provisions.

Adopted this 20th day of March, 2018.

I hereby certify that the foregoing resolution was duly adopted by the Allouez Village Board at a legal meeting on this 20th day of March, 2018.

Jim Rafter, Village President	
ATTEST:	
	,,

RESOLUTION ___-2018

URBAN NON-POINT SOURCE & STORMWATER GRANT PROGRAM VILLAGE OF ALLOUEZ, BROWN COUNTY, WISCONSIN

WHEREAS, the Wisconsin DNR has determined that excessive sediment and phosphorus are impacting surface water quality and designated uses for the East River and Fox River; and

WHEREAS, the Wisconsin DNR developed a Total Maximum Daily Load (TMDL) for excess sediment and phosphorus for the East River and Fox River; and

WHEREAS, the Village of Allouez desires to construct Bethel Pond in order to help reduce excess sediment and phosphorus discharging into the East River and Fox River; and

WHEREAS, the Bethel Pond project will assist landowners and the Village with NR 216 Stormwater Permit compliance; and

WHEREAS, the Village previously conducted public education and outreach activities with landowners located in the immediate project area and the Village discussed the Bethel Pond project during a Village Board meeting; and

WHEREAS, the local-share funds for the Bethel Pond project are already included specifically in the Village's adopted budget and the Village has included the project's anticipated costs in its adopted Capital Improvement Plan; and

NOW THEREFORE BE IT RESOLVED, that the Village of Allouez hereby supports submittal of an Urban Non-Point Source & Storm Water (UNPS&SW) Construction Grant Application to the Wisconsin Department of Natural Resources (DNR) for the Bethel Pond project.

Adopted this 20th day of March, 2018.

Jim Rafter, Village President
ATTEST:
Debbie Baenen, Clerk-Treasurer

March 9, 2018

Mr. Craig Berndt, Public Works Director Village of Allouez 1900 Libal Street Green Bay, WI 54301

Re:

Bethel Pond

Dear Mr. Berndt:

The Kiwanis Club supports the Village of Allouez's desire to apply for an Urban Non-Point Source & Storm Water (UNPS&SW) Construction Grant from the Wisconsin Department of Natural Resources (DNR) for the proposed Bethel Pond. Bethel Pond is a proposed wet detention pond located on property obtained from the Bethel Baptist Church. Bethel Pond will help reduce excess sediment and phosphorus discharging into the East River and Fox River.

The Kiwanis Club supports the grant application since the grant funds will help improve surface water quality and also assist with long-term Stormwater Premit compliance for both landowners and the Village.

Sincerely,

Kiwanis Club