

Memo

To: Plan Commission, Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: APPROVAL SITE PLAN AND DESIGN REVIEW FOR OLDE RIVER CONDOMINIUMS AT 3010 RIVERSIDE DRIVE

Date: 20 April 2018

Attached are the proposed plans submitted by Landmark Real Estate and Development for the site plan and design review of Olde River Condominiums, a proposed 15-unit residential condominium development located at 3010 Riverside Drive (see attached). A representative will be present at the meeting to talk about the project and answer any questions.

Site Plan and Design Review Process

The site plan and design review process is an opportunity for the Village Board and the plan commission members to review and to ensure the plans meet village standards in regards to safety, efficiency, aesthetics, and legal concerns in a public forum. The village cannot consider the use of the parcel as part of the decision in this process, only review if the proposed development meets all site plan and design standards for this zoning district.

The proposed project is for parcel AL-121, located at 3010 Riverside Drive. This parcel is zoned "'C' Professional Office and Residence District" and the proposed use is allowed under this zoning classification through a conditional use permit. The Village Board approved a conditional use permit for this project on March 6, 2018. The plan commission is asked to review the Olde River Condominium proposal and determine if the proposed project meets the zoning and design requirements required by the zoning code for this proposed use.

Staff Comments and Recommendation

Staff has reviewed the proposed plans and has provided Landmark Real Estate and Development with comments (see attached).

Staff recommends the plan commission recommend approval of the petition by the Village Board, should all comments be addressed and necessary permits be filed prior to a final building permit being issued or a reasonable explanation (as determined by staff and the Village Board) as to why these comments were not addressed.

Plan commission is asked to recommend or not to recommend approval of the petition from Landmark Real Estate and Development, requesting a site plan and design review for a development on parcel AL-121, located at 3010 Riverside Drive.

Site Plan & Design Review – Staff Comments

Site: 3010 Riverside Drive (Parcel AL-121)
Development: Olde River Condominiums
Developer Representatives: Landmark Real Estate – Keith Garot
 Mau & Associates – Tonya Wagner, P.E.

- Zoning Department review:

Zoning district		"C" Professional Office and Residence District		
Building use (allowed with a Conditional Use Permit)		Multi-family (Conditional Use Permit approved March 6, 2018)		
		Required	Provided	Notes
Building	Height	Lesser of 40' or 3 stories	Not provided	1 story buildings appear to meet standards, but should be shown in plans.
	Dwelling size	700SF min = 1 bedroom; 1000SF min = 2 or more bedrooms; no studios/efficiencies	Standards met	
Lot	Area	9,000SF minimum	Standards met	171,900 (3.9 acres)
	Frontage	N/A	N/A	
	Green space	50% of the lot	Standards met	
Setback	Front	30'	Standards met	Appears to have met the 30' setback, but should update the setback in the plans. Scale may need to be adjusted.
	Side (interior)	Zero (duplex)	Standards met	
	Side (exterior)	10'	Standards met	
	Rear	30' (20% depth of lot, not to exceed 30')	20' shown	
Parking	Number	Multi-family: 1 enclosed/dwelling unit + 1 enclosed or surface/dwelling	Standards met	
	Size	One garage of at least 220SF/unit	Standards met	
	Bicycle	Bicycle parking should be provided	N/A	
Access	Automobile	N/A	N/A	Pedestrian connection to the Fox River Trail is provided.
	Pedestrian	N/A	N/A	
Architecture		Varied rooflines and other architectural designs that break-up the building mass	Standards met	
Exterior finishes		Brick, stone, glass, fiber cement siding, EFIS, stucco, wood siding	Standards met	
Lighting		Dark sky compliant, no light directed towards ROW, no more than 0.2FC at property line, must be shut off at 10p.m.	Standards met	
Sign		32SF / side	N/A	Will apply for sign permit separate from SPDR. Sign location should consider sight triangles and future R/W expansion .
Fences/Screening		Dumpster must be located at rear and be screened using same finishes as primary structure; mechanical equipment must be screened from street .	N/A	Individual units and will not be screened. Village garbage and recycling pick-up will be determined.
Floodplain (BFE=586')		Lowest opening of the foundation	Standards met	

	2' above BFE (base flood elevation). Fill should be 1' above structure for 15' surrounding structure. Basement watertight and floor no more than 5' below BFE. Contiguous dryland access provided from structure outside of floodplain.	585' and less Standards met Standards met	Additional fill should be brought in for three western most buildings
Shoreland-Wetland	To be reviewed by the Wisconsin Department of Natural Resources and Brown County.	N/A	Per the DNR, no further action is required for shoreland zoning. Wetlands are under review.

**All other applicable zoning requirements stipulated in Chapters 453, 468, and 475 of Village Ordinances should be met to the highest degree possible.

- Building Inspector review:
 - Wall bracing plans for the buildings shall be provided.
 - Plans for the single unit building shall be provided.
 - Provide a contact, other than the developer, that will be in charge of overseeing the erosion control on site.

- Fire Department review:
 - Fire apparatus roads and the grade of the road shall not exceed an 8% grade (IFC#503.2.7).
 - The parking lot and apparatus roads shall meet the minimum weight and turning radius for GBMFD apparatus (IFC#503.2).

- Parks, Recreation, and Forestry Department review:
 - Cannot review. Landscaping plan shall be provided.

- Public Works Department review:
 - Under review: stormwater, erosion control, and utilities.
 - Easement needs to be established for utility mains on the property.
 - All specifications shall be agreed upon prior to start of construction.
 - Garbage and recycling collection to be determined.
 - Snow removal on the private roads shall be handled by the development.

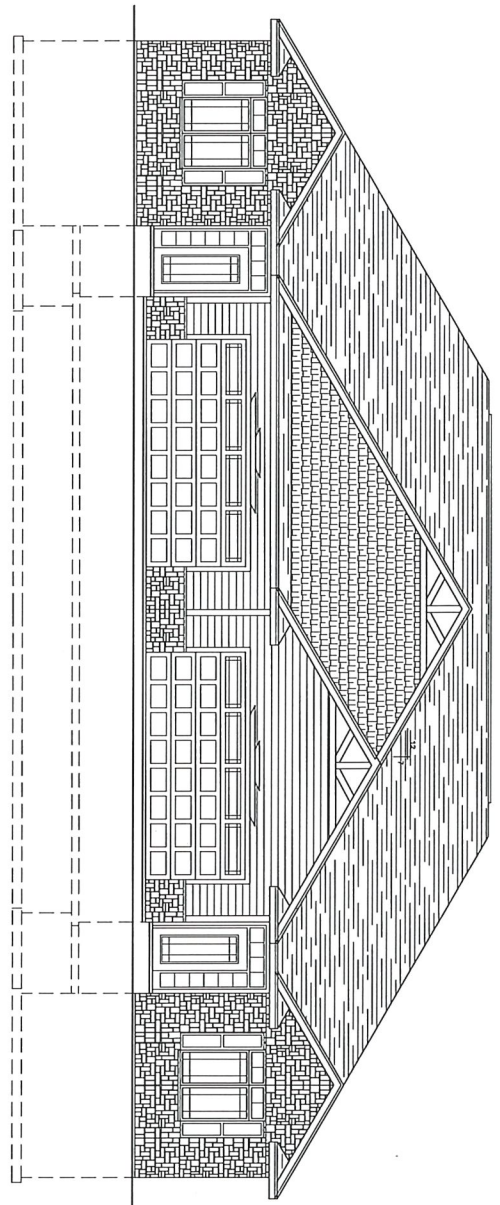
- Additional comments:
 - Construction access – traffic on Riverside Drive shall not be obstructed during construction. Dirt and debris shall be kept on-site and off of the public roadway.
 - Survey of property and ESA shall be recorded with Brown County prior to the start of construction.
 - All other village utility and building requirements

Date Reviewed:

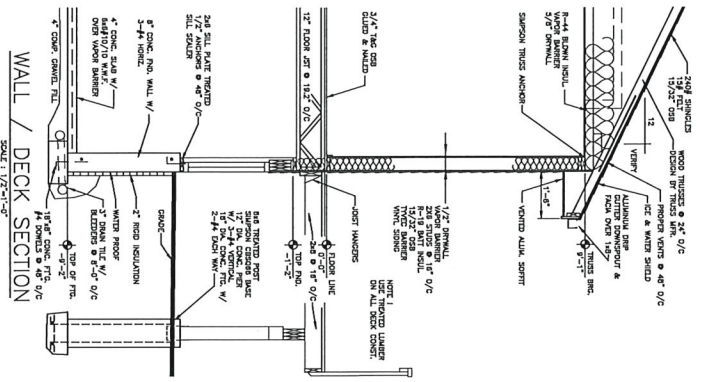
April 19, 2018

Comments Submitted By:

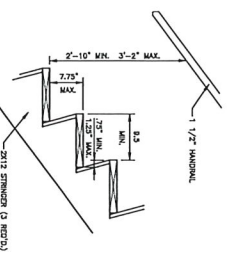
Trevor Fuller, Village of Allouez Planning & Zoning Administrator



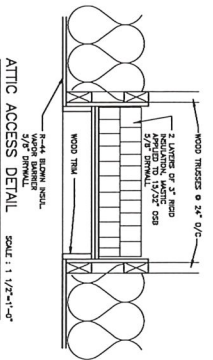
FRONT ELEVATION SCALE: 1/8" = 1'-0"



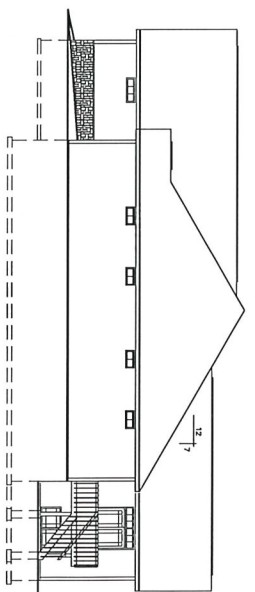
WALL / DECK SECTION SCALE: 1/2" = 1'-0"



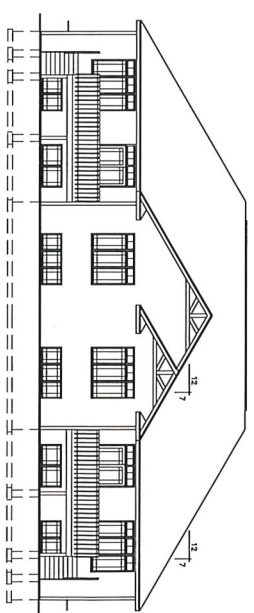
STAIR DETAIL SCALE: 1" = 1'-0"



ATTIC ACCESS DETAIL SCALE: 1 1/2" = 1'-0"



SIDE ELEVATION SCALE: 1/8" = 1'-0"

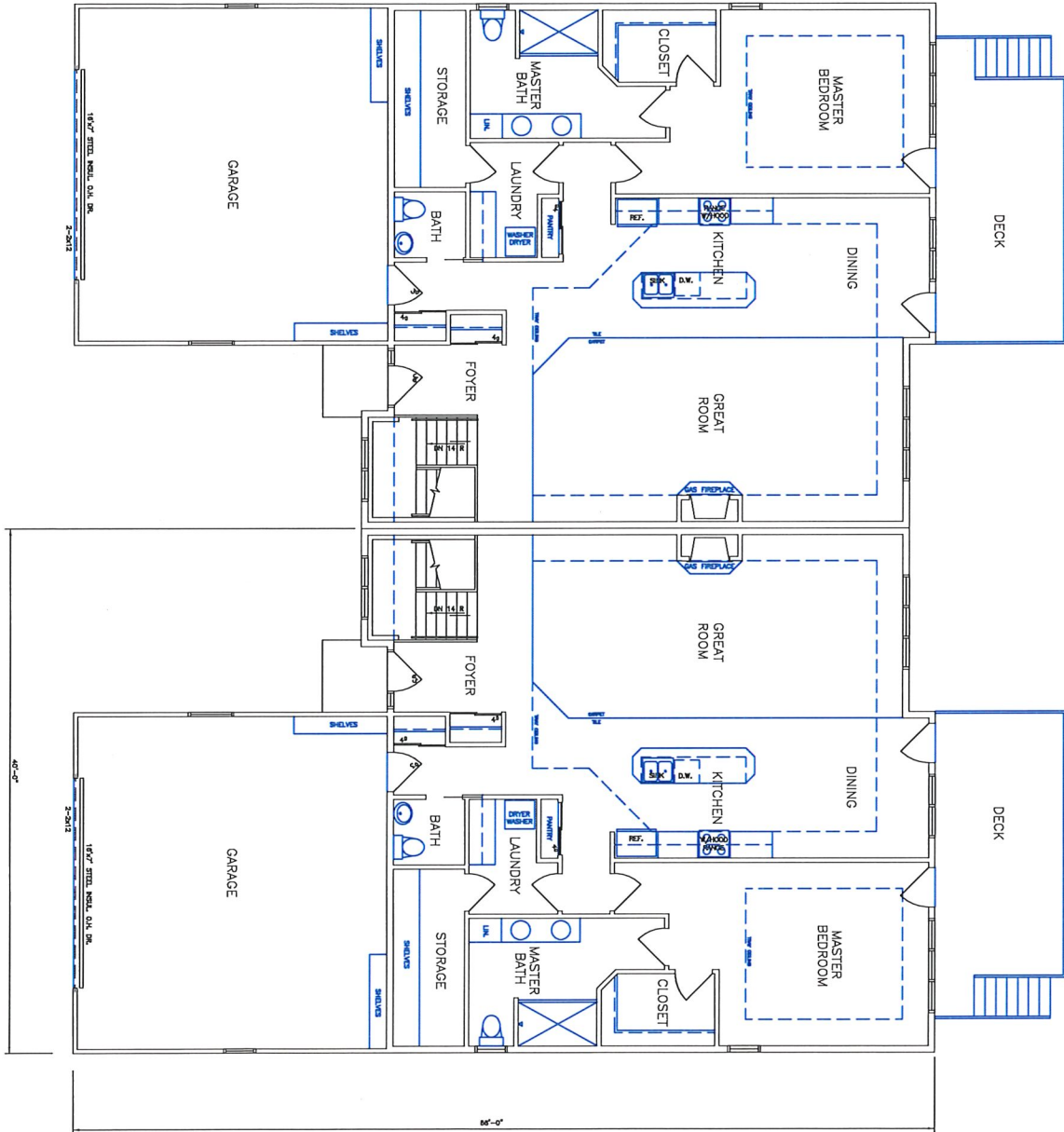


REAR ELEVATION SCALE: 1/8" = 1'-0"

REVISIONS	
DATE: 2/7/18	
PROJ. NO. 201813	
ALDOLFER-2	

2 UNIT CONDOMINIUM
LANDMARK REAL ESTATE & DEVELOPMENT
 320 MAIM AVENUE, #300 DEPERE WISCONSIN 54115 (920) 337-9566

DONALD R. HAANEN ARCHITECT INC.
 5065 FLAT ROCK ROAD
 CECIL WISCONSIN 54111
 (920) 497-5007



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 DATE: 1/12/15

REVISIONS

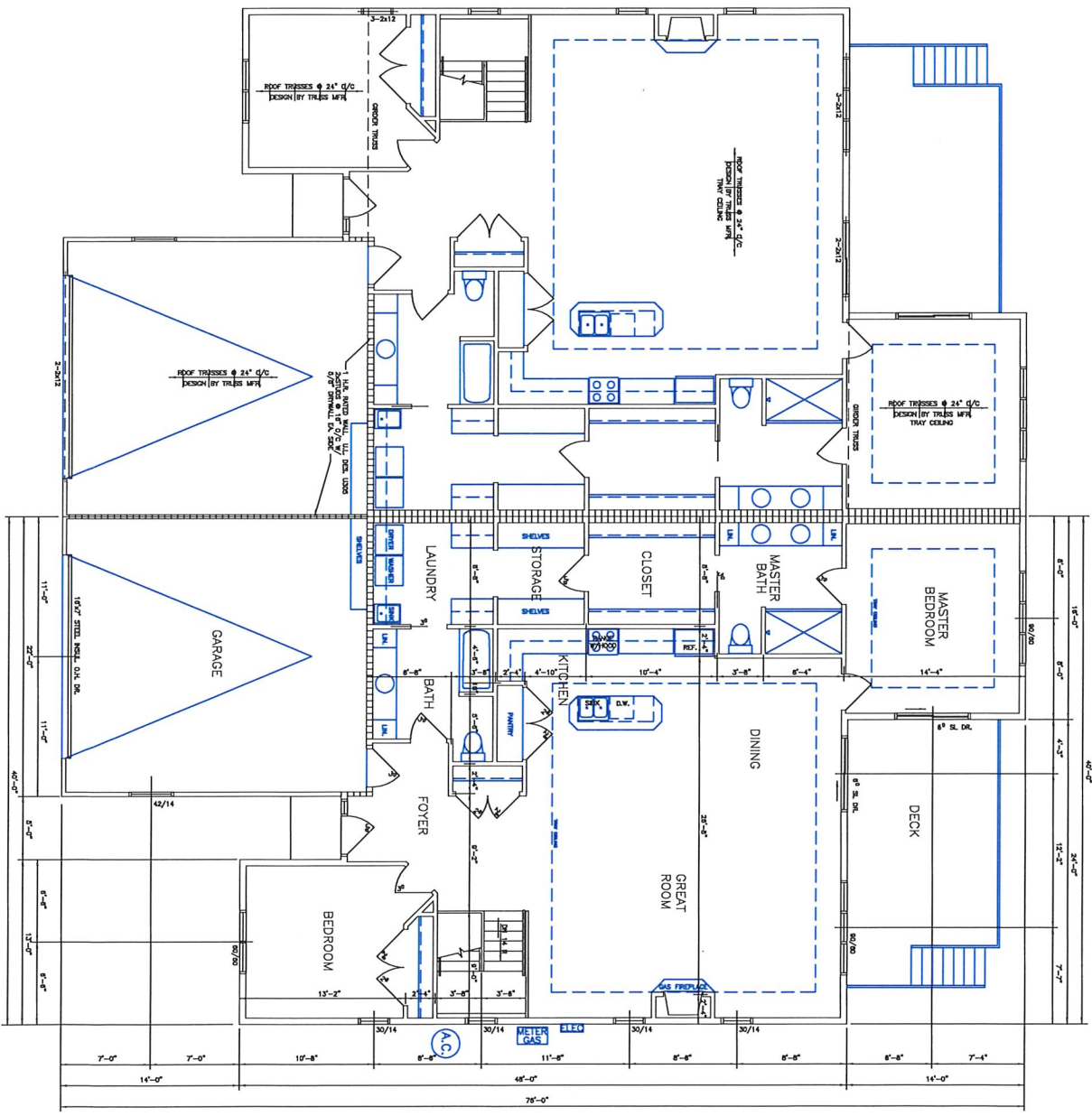
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NOTE 1
 KNOWN / ROOM MEASURES TO BE
 2-2010 (ALL OTHERS NOTED OTHERWISE)

FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

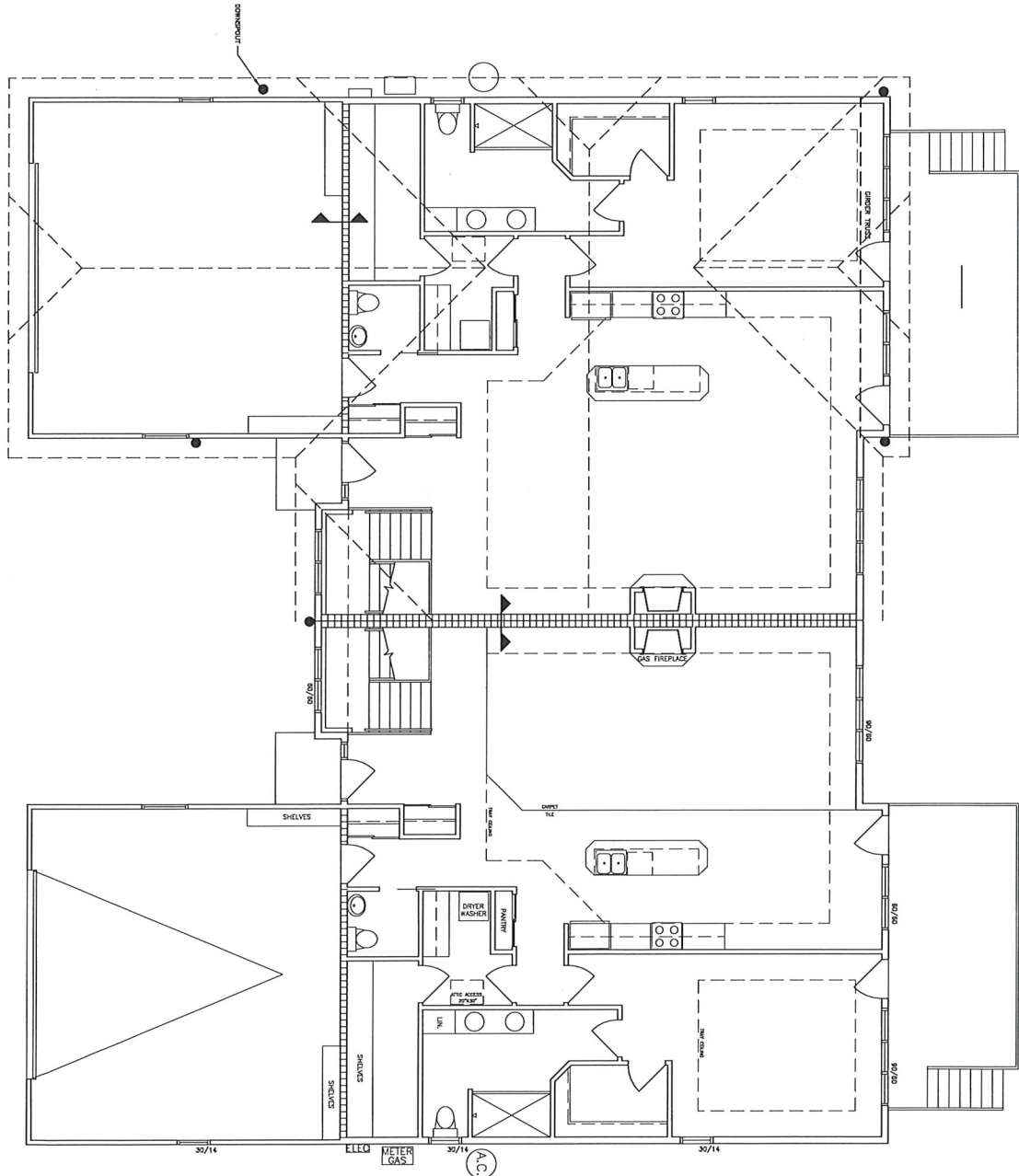
HOUSE: 1,800 S.F. GARAGE: 333 S.F.



REVISIONS
ALLOTMENT-2
PROJ. NO. 201833
DATE 1/11/18
OF 1

2 UNIT CONDOMINIUM
 LANDMARK REAL ESTATE & DEVELOPMENT
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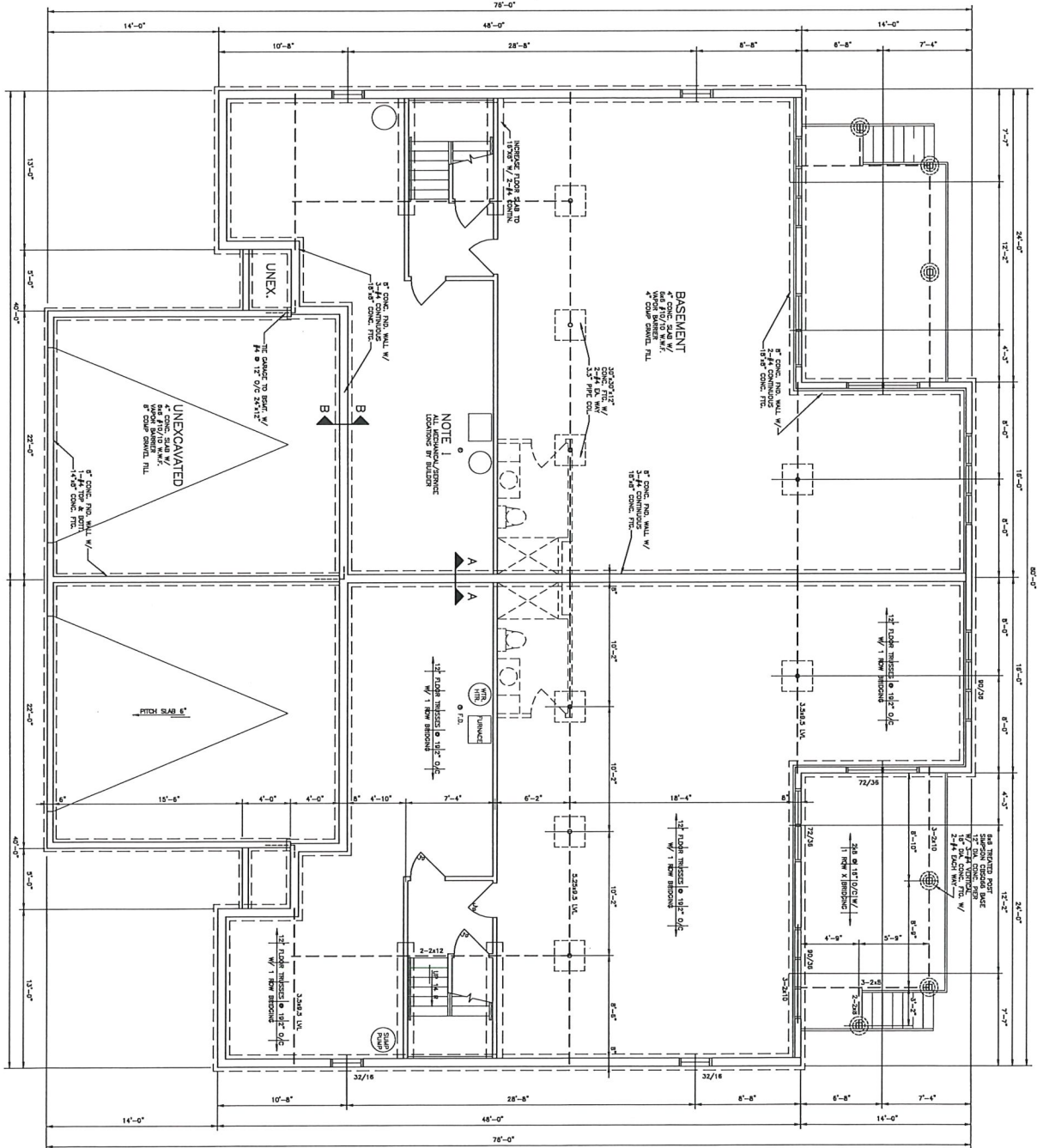
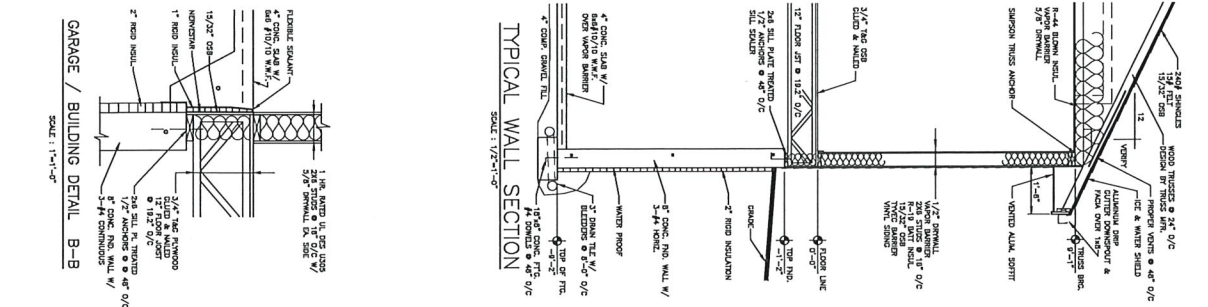
3 OF 3	REVISIONS
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PROJ. NO. 201814	
DATE: 2/3/18	

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PROJ. NO. 201833
DATE: 2/17/18

2 OF 3

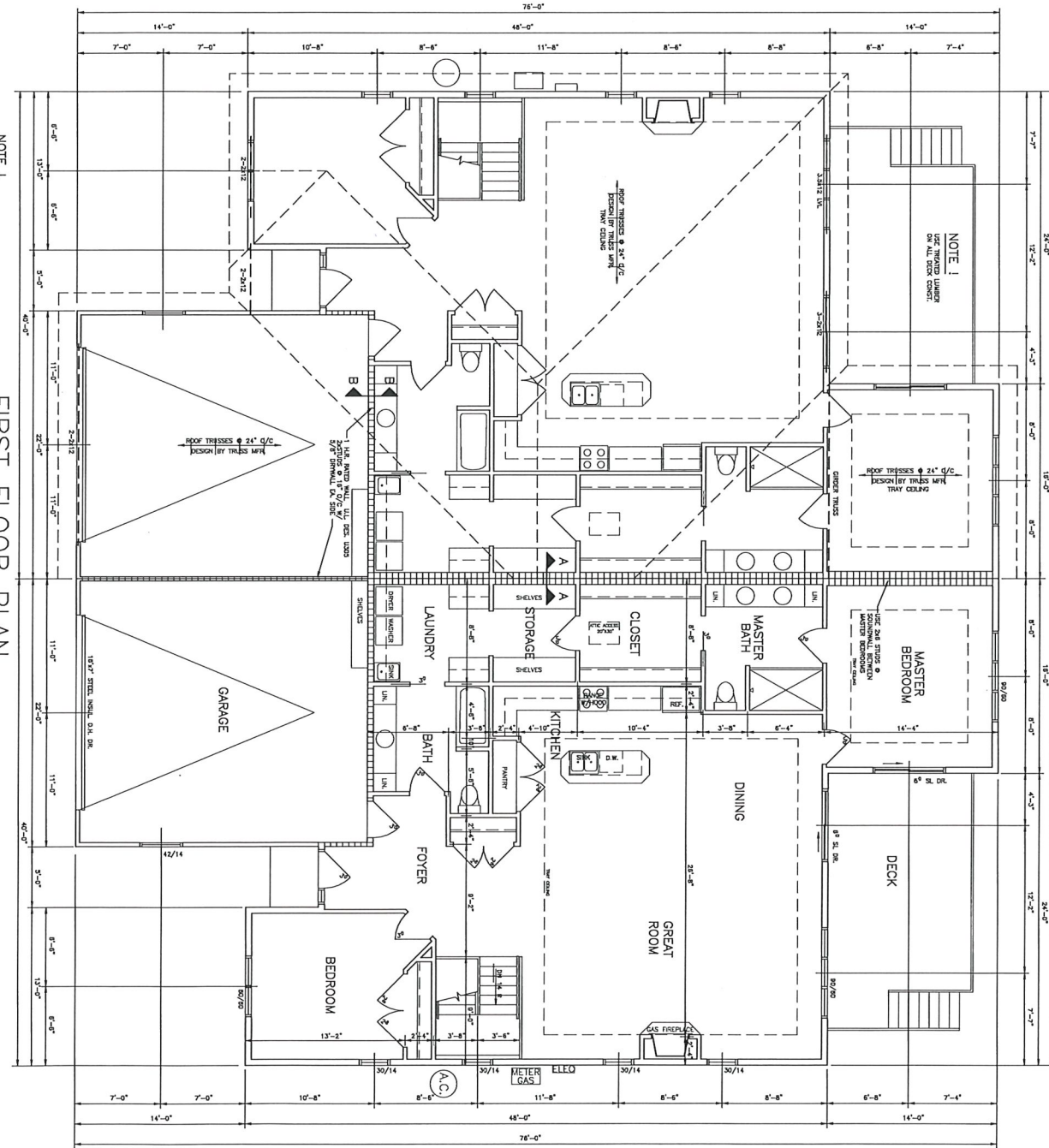
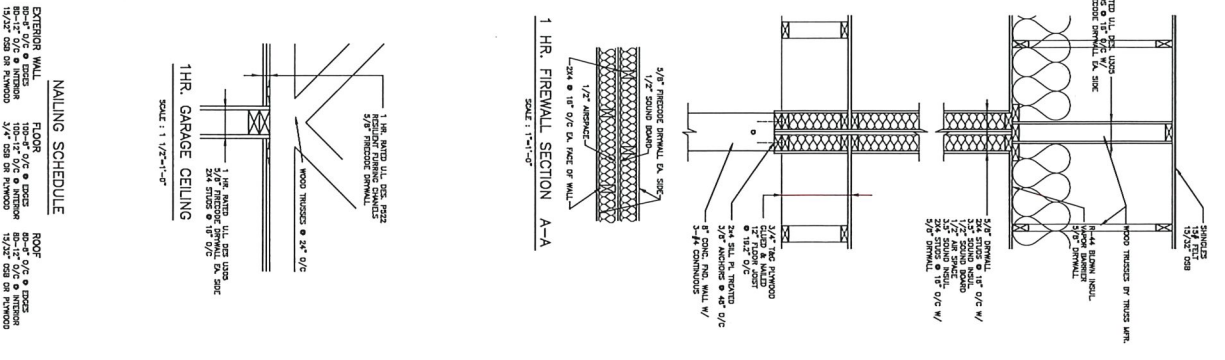
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REVISIONS

1	ADD	2	DATE: 2/7/18
2	PROJ. NO. 201833		
3	DATE: 2/7/18		

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