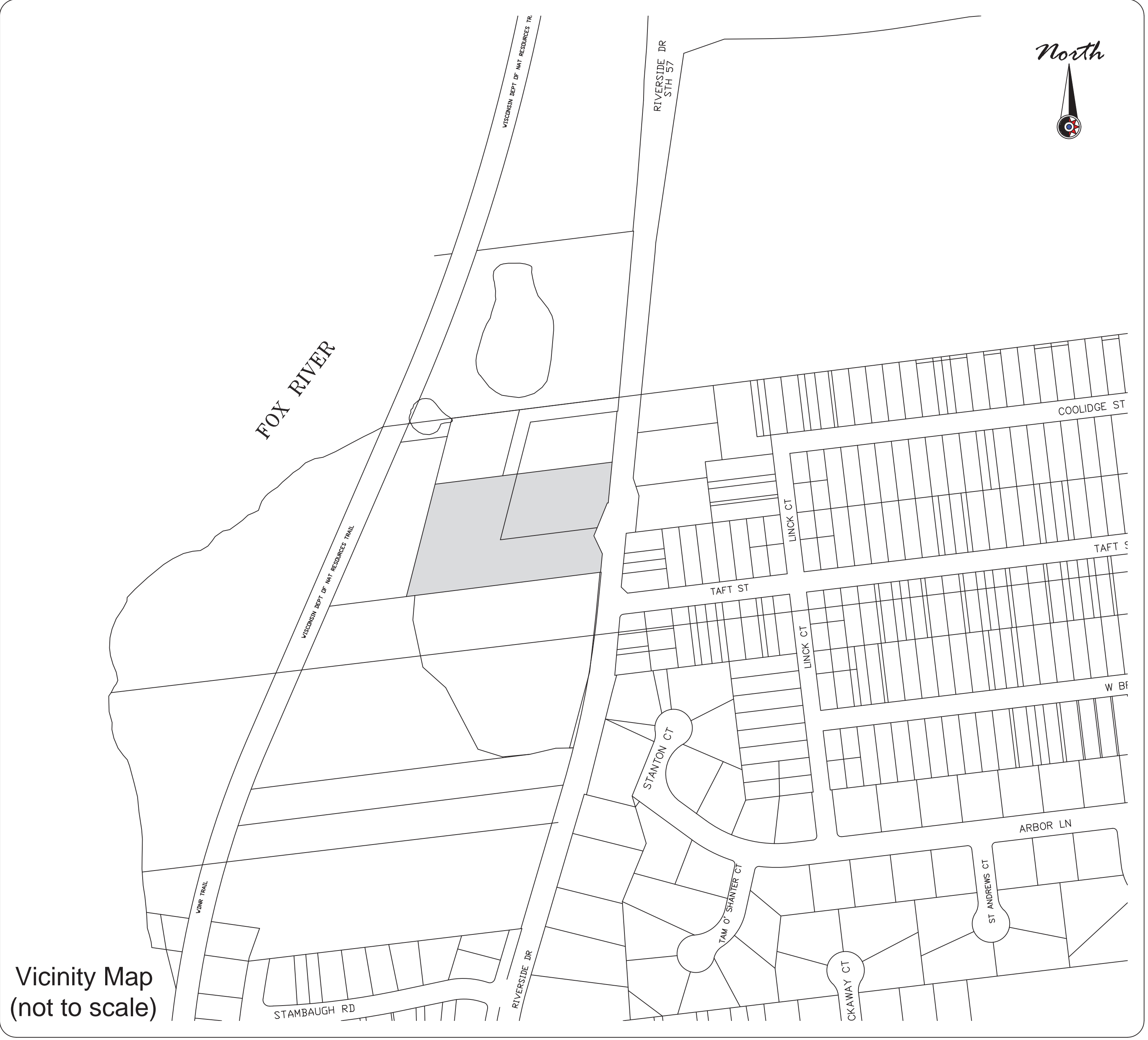
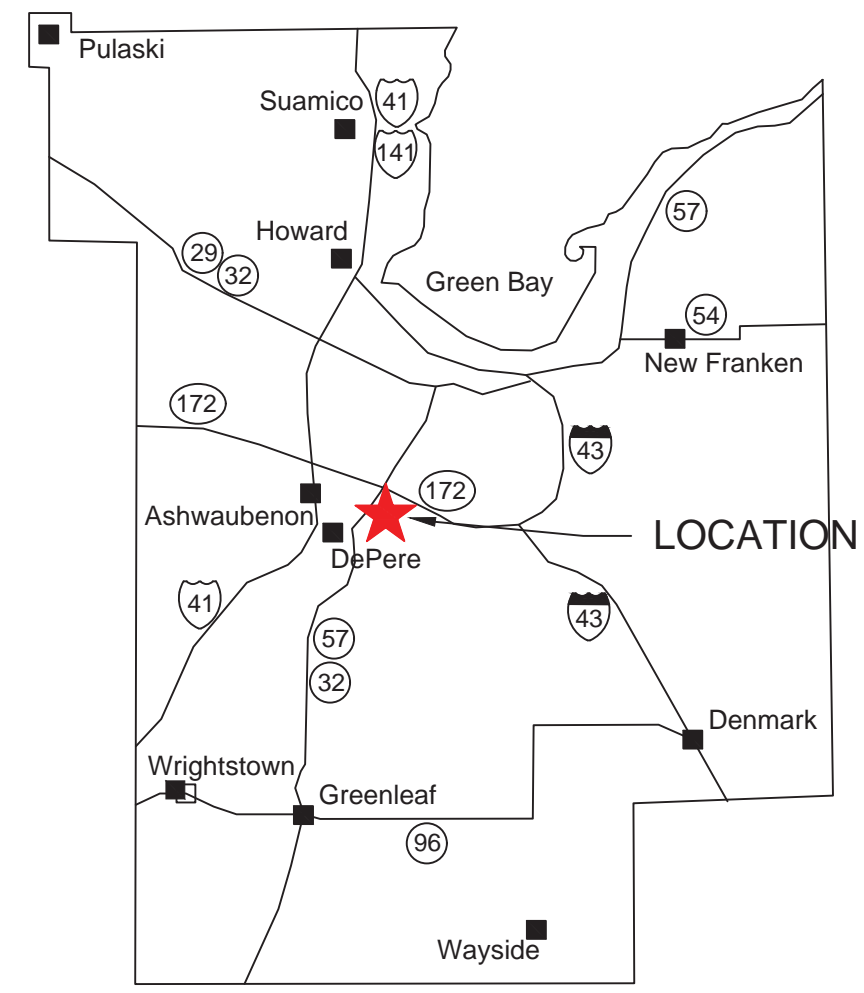


Olde River Condominiums

By Landmark Real Estate & Development

Village of Allouez



Vicinity Map
(not to scale)

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Project Information

Owner(s):	Landmark Real Estate & Development
Project Name:	Olde River Condominiums
Project Description:	(7) 2 unit condos with built in garages and (1) 1 unit condo with a built in garage
Project Address:	3010 Riverside Drive

Contact Information

Owner(s):	Landmark Real Estate & Development Keith Garot 320 Main Avenue, #300 De Pere, WI 54115 920-337-9566
Engineer:	Mau & Associates, LLP Contact: Tonya Wagner, P.E. 400 Security Boulevard Green Bay, WI 54313 (920) 434-9670

- Sheet Index:
- 1 of 1 Site Survey
 - 1.0 Site Demolition Plan
 - 2.0 Site Plan
 - 3.0 Grading & Erosion Control Plan
 - 3.1 Trail Connection Site, Grading, & Erosion Control Plan
 - 4.0 Utility Plan
 - 4.1 Utility Profile
 - 4.2 Utility Profile
 - 4.3 Utility Profile
 - 5.0 Notes & Details
 - 5.1 Notes & Details
 - 5.2 Erosion Control Details
 - 6.0 Biofilter & Pond Details

SITE STATISTICS

SITE AREA - 171,900 SF
BUILDING - 35,472 SF
PAVEMENT - 24,809 SF
DECKS - 3,750 SF
PERVIOUS - 107,869 SF



DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Olde River Condominiums
Site Plan

PROJECT NO.
L-2117

SHEET NO.
2.0

DRAWING NO.
S-2920

File: L-2117 Eng 03/20/18.dwg



DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments

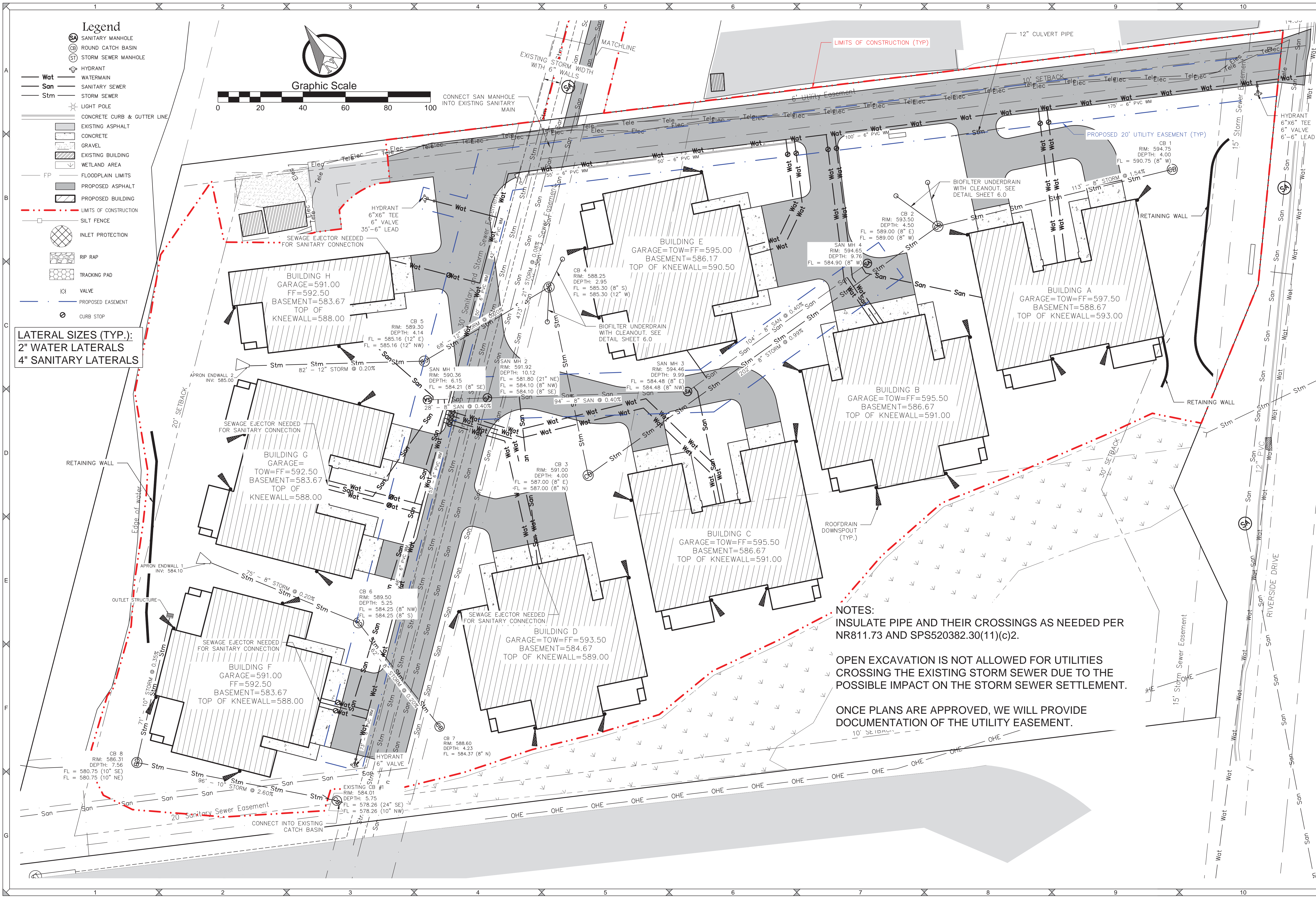
Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Olde River Condominiums
Grading & Erosion Control
File: L-2117 Eng 03/20/18.dwg

PROJECT NO.
L-2117

SHEET NO.
3.0

DRAWING NO.
S-2920



Legend

- SA SANITARY MANHOLE
- CB ROUND CATCH BASIN
- ST STORM SEWER MANHOLE
- Hydrant
- Watermain
- Sanitary Sewer
- Storm Sewer
- Light Pole
- Concrete Curb & Gutter Line
- Existing Asphalt
- Concrete
- Gravel
- Existing Building
- Wetland Area
- Floodplain Limits
- Proposed Asphalt
- Proposed Building
- Limits of Construction
- Silt Fence
- Inlet Protection
- Rip Rap
- Tracking Pad
- Valve
- Proposed Easement
- Curb Stop

LATERAL SIZES (TYP.):
2" WATER LATERALS
4" SANITARY LATERALS

NOTES:
INSULATE PIPE AND THEIR CROSSINGS AS NEEDED PER NR811.73 AND SPS520382.30(11)(c)2.
OPEN EXCAVATION IS NOT ALLOWED FOR UTILITIES CROSSING THE EXISTING STORM SEWER DUE TO THE POSSIBLE IMPACT ON THE STORM SEWER SETTLEMENT.
ONCE PLANS ARE APPROVED, WE WILL PROVIDE DOCUMENTATION OF THE UTILITY EASEMENT.

DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

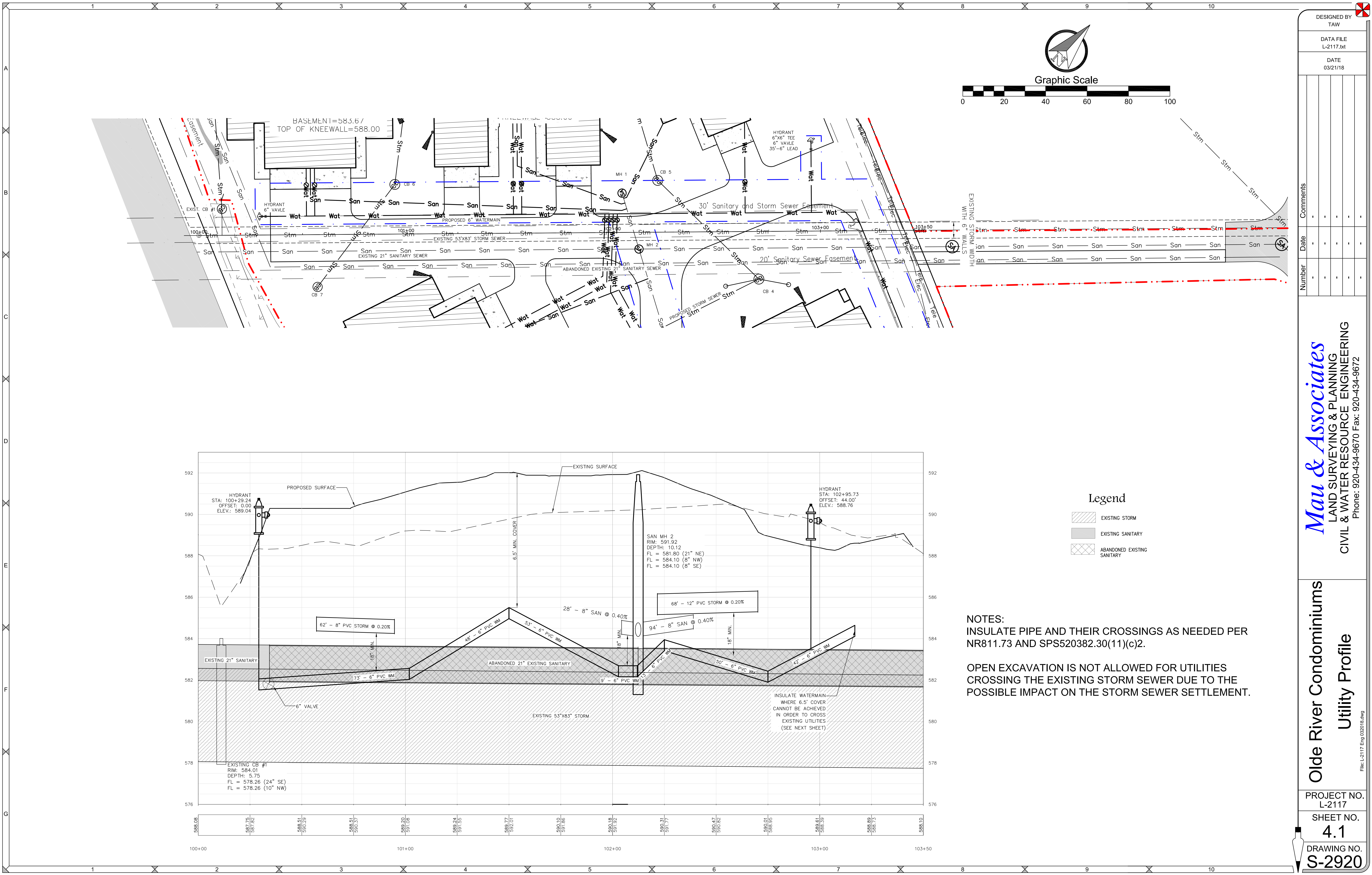
Olde River Condominiums
Utility Plan

PROJECT NO.
L-2117

SHEET NO.
4.0

DRAWING NO.
S-2920

File: L-2117 Eng 03/20/18.dwg



DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments

Mau & Associates

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING

Phone: 920-434-9670 Fax: 920-434-9672

Olde River Condominiums

Utility Profile

File: L-2117 Eng 032018.dwg

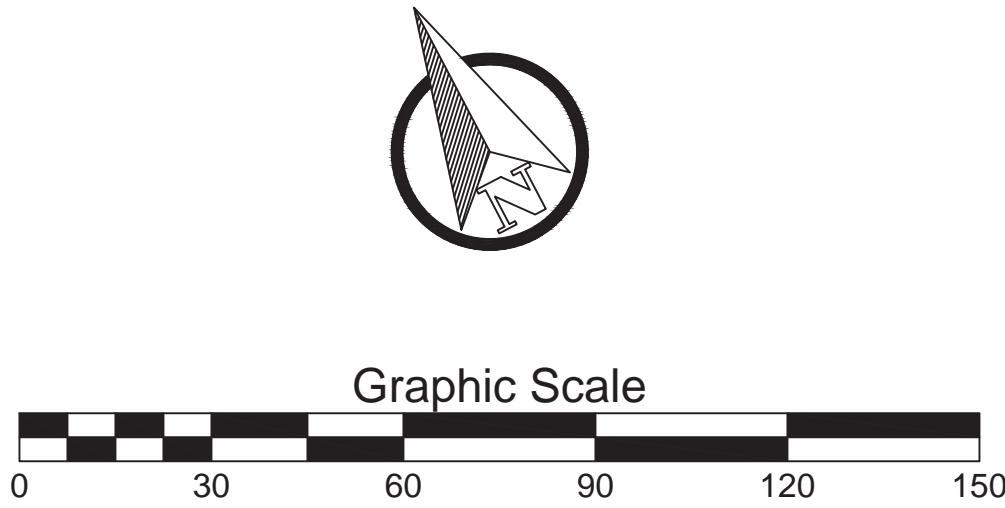
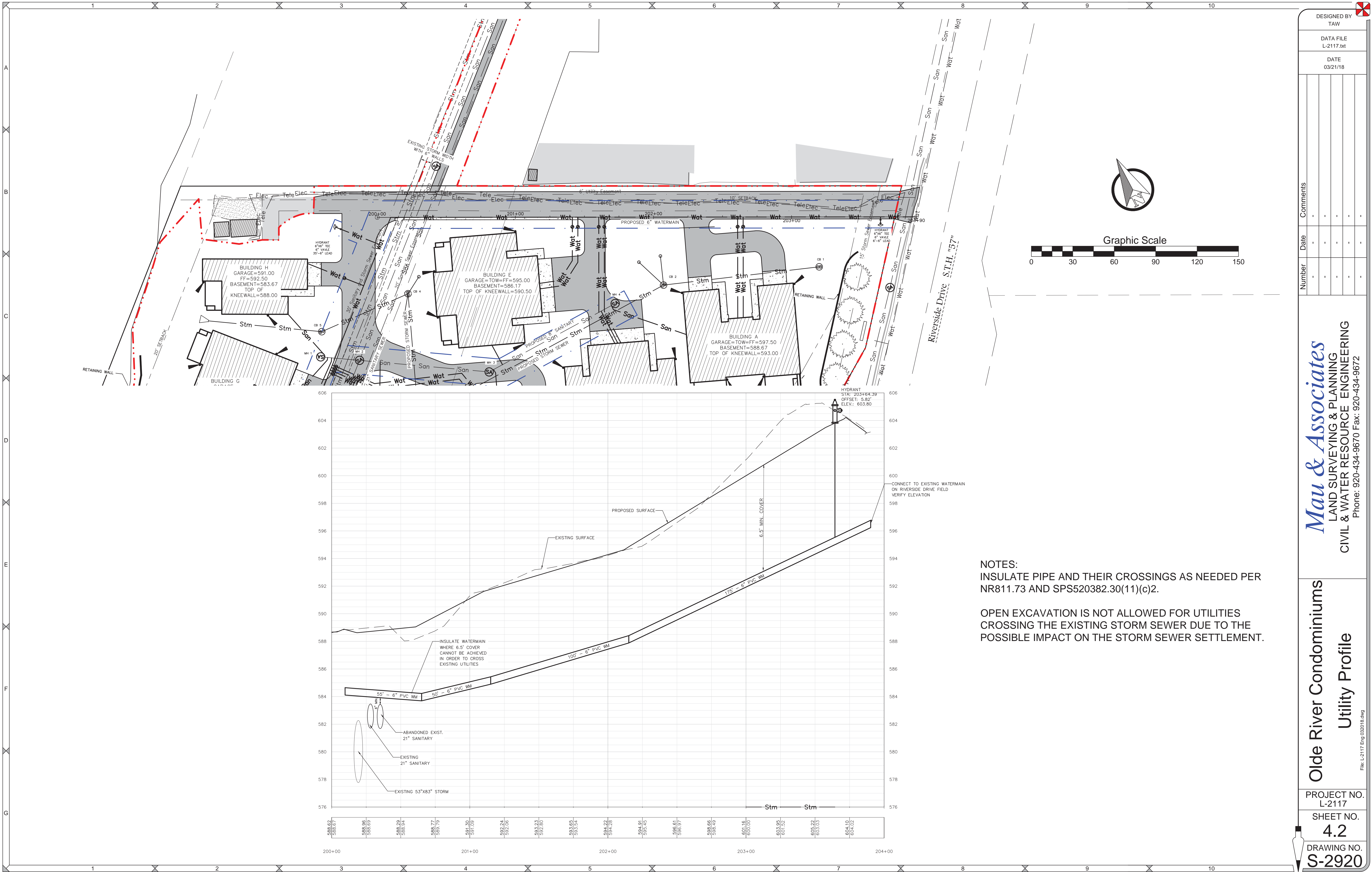
PROJECT NO.
L-2117

SHEET NO.
4.1

DRAWING NO.
S-2920

NOTES:
INSULATE PIPE AND THEIR CROSSINGS AS NEEDED PER NR811.73 AND SPS520382.30(11)(c)2.

OPEN EXCAVATION IS NOT ALLOWED FOR UTILITIES CROSSING THE EXISTING STORM SEWER DUE TO THE POSSIBLE IMPACT ON THE STORM SEWER SETTLEMENT.



NOTES:
INSULATE PIPE AND THEIR CROSSINGS AS NEEDED PER NR811.73 AND SPS520382.30(11)(c)2.

OPEN EXCAVATION IS NOT ALLOWED FOR UTILITIES CROSSING THE EXISTING STORM SEWER DUE TO THE POSSIBLE IMPACT ON THE STORM SEWER SETTLEMENT.

DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number

Date

Comments

Mau & Associates

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Old River Condominiums

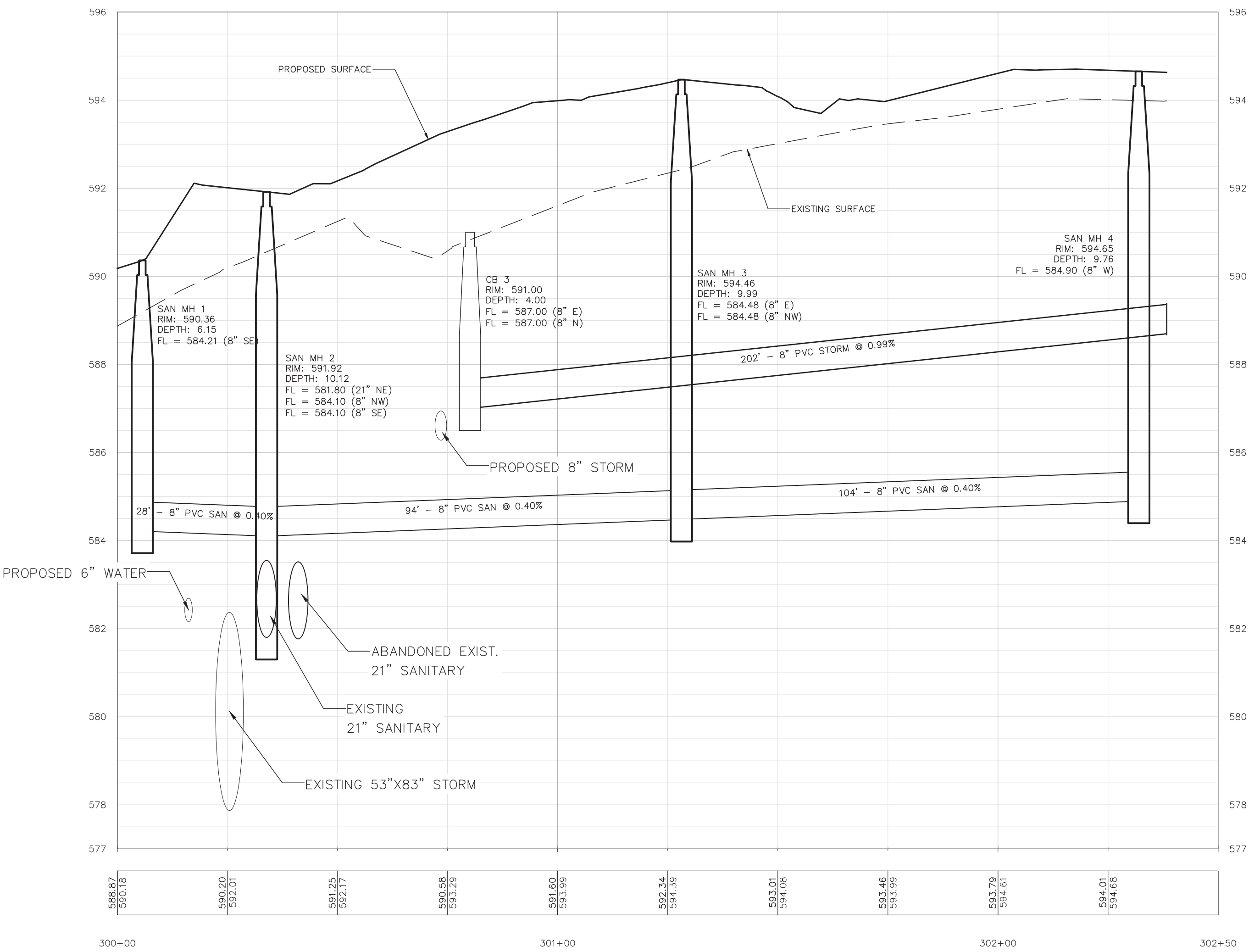
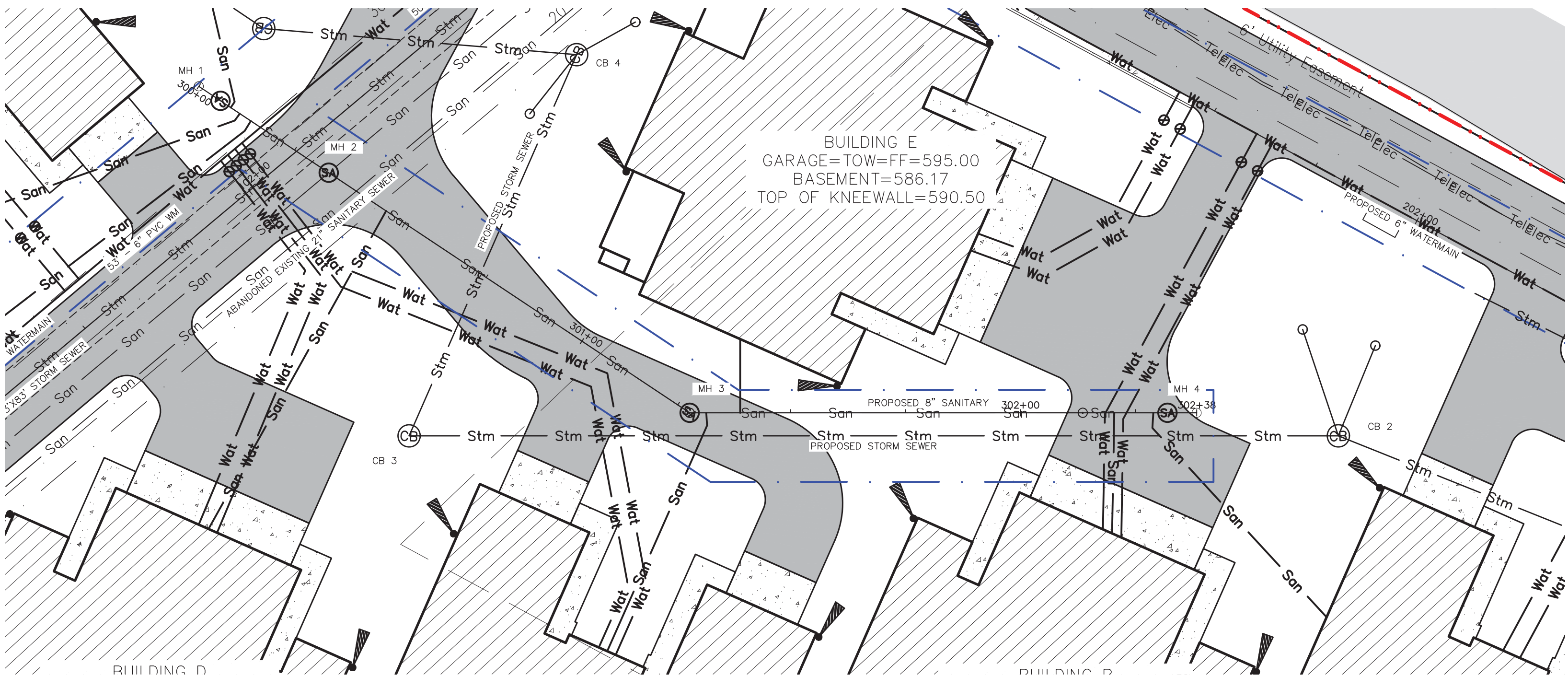
Utility Profile

File: L-2117 Eng 03/20/18.dwg

PROJECT NO.
L-2117

SHEET NO.
4.2

DRAWING NO.
S-2920



NOTES:
INSULATE PIPE AND THEIR CROSSINGS AS NEEDED PER NR811.73 AND SPS520382.30(11)(c)2.

OPEN EXCAVATION IS NOT ALLOWED FOR UTILITIES CROSSING THE EXISTING STORM SEWER DUE TO THE POSSIBLE IMPACT ON THE STORM SEWER SETTLEMENT.

DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments
1		
2		
3		
4		
5		

Mau & Associates
LAND SURVEYING & PLANNING
& WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Olde River Condominiums
Utility Profile
File: L-2117 Eng 03/20/18.dwg

PROJECT NO.
L-2117

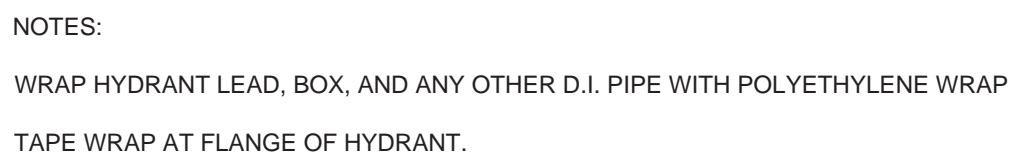
SHEET NO.
4.3

DRAWING NO.
S-2920

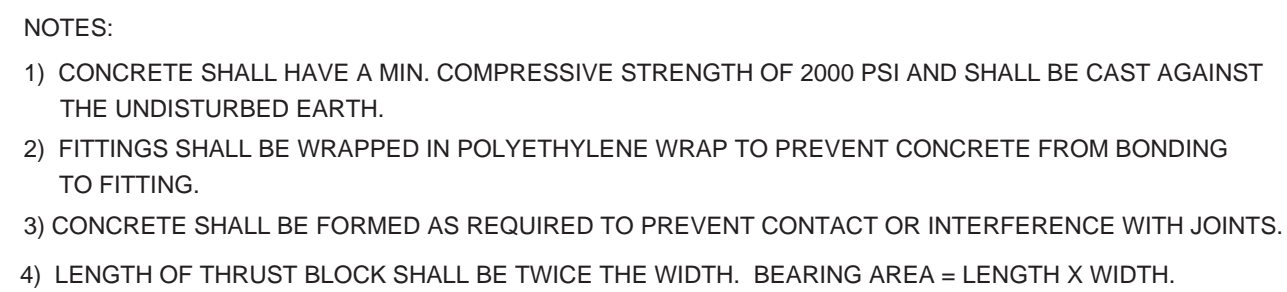


N.T.S

- 1) ASPHALT PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISDOT FDM.
- 2) ASPHALT SHALL BE E-0.3 SUPERPAVE FOR TYPICAL SECTION



N.T.S.

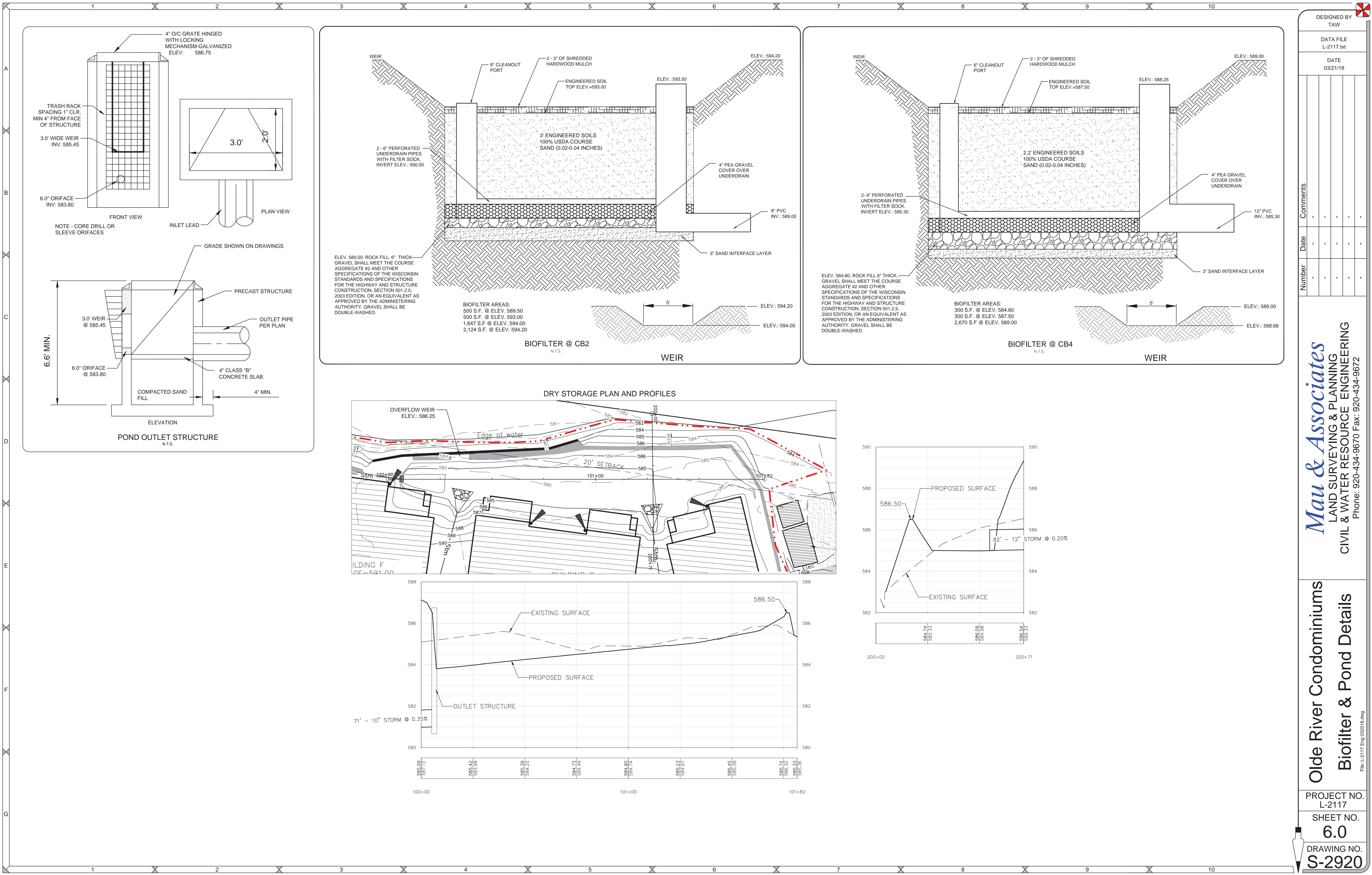


N.T.S.

8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

- 1) CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2000 PSI AND SHALL BE CAST AGAINST THE UNDISTURBED EARTH.
- 2) FITTINGS SHALL BE WRAPPED IN POLYETHYLENE WRAP TO PREVENT CONCRETE FROM BONDING TO FITTING.
- 3) CONCRETE SHALL BE FORMED AS REQUIRED TO PREVENT CONTACT OR INTERFERENCE WITH JOINTS.
- 4) LENGTH OF THRUST BLOCK SHALL BE TWICE THE WIDTH. BEARING AREA = LENGTH X WIDTH.

File: L-2117 Eng 032018.dwg



DESIGNED BY
TAW

DATA FILE
L-2117.txt

DATE
03/21/18

Number	Date	Comments
1		
2		
3		
4		
5		

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Olde River Condominiums
Biofilter & Pond Details
File: L-2117 Eng 03/20/18.dwg

PROJECT NO.
L-2117

SHEET NO.
6.0

DRAWING NO.
S-2920