

# Memo

To: Plan Commission, Village Board

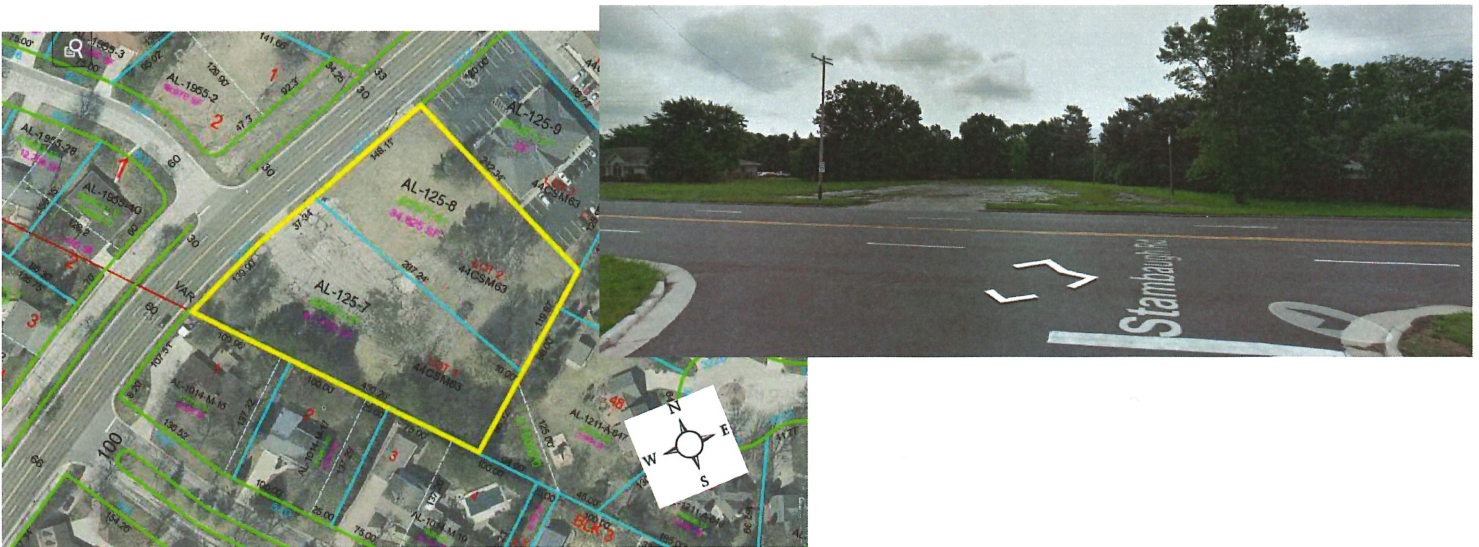
Fr: Trevor Fuller, Planning and Zoning Administrator

Re: 6. ACTION RE: PETITION FROM SKB TERRACE LLC – REQUESTING CONDITIONAL USE PERMIT APPROVAL FOR RESIDENTIAL AND OFFICE MIXED-USE ON PARCELS AL-125-7 & AL-125-8, LOCATED AT 3241 & 3245 RIVERSIDE DRIVE (vacant property south of Compassus)

Date: 22 June 2018

A Conditional Use Permit (CUP) has been requested by SKB Terrace LLC to allow for a mix of uses on the vacant parcels AL-125-7 & AL-125-8, located at 3241 & 3245 Riverside Drive. The parcel is currently zoned “Commercial,” which allows for mixed-use as a conditional use.

Below is an exterior picture and aerial photograph of the existing lots. The buyer intends to construct a two story mixed-use building on the site; using the upstairs as an owner-occupied residence and the main level as a commercial office for her leasing company. This proposed use of the property cannot proceed without being granted a conditional use permit.



Any future changes on the site will have to go through the Site Plan and Design Review process and be consistent with the zoning requirements for a “Commercial District.” Interior alterations or a change of commercial use will have to be approved by the Building Inspector to ensure the building is up to date.

Section 475-58 of the village ordinances requires the following standards for granting a Conditional Use Permit.

- A. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;*
- B. *The conditional use will not substantially reduce the use and enjoyment of other property in the immediate vicinity for the purposes already permitted and shall not substantially diminish or impair property values within the neighborhood;*
- C. *Adequate facilities, access roads, drainage, parking, and any other necessities have been or are being provided;*
- D. *Adequate measures have been or will be taken to provide ingress and egress so designated as to minimize traffic congestion in the public streets; and*
- E. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

Staff has reviewed the proposed application and recommends approval.

**Plan Commission is asked to make a recommendation whether or not to approve a Conditional Use Permit for the proposed mixed-use at 3241 & 3245 Riverside Drive. The motion should specify the conditions, if any, of the Conditional Use Permit.**



## *SKB Terrace*

*Riverside Drive, Allouez*

Hello, I am Karen Classon.

I own SKB Management Inc. My late husband, Steve Classon, and I started SKB in 1983 and I have owned, built and managed apartments for the last 35 years. SKB employs around 40 employees and we manage under 2000 apartment homes throughout northeast Wisconsin.

I encourage you to check out our website ***skbmanagement.com***

I sold my office building at 801 Heritage Road, De Pere last spring and since then have been actively looking to relocate.

I am currently under contract to acquire and develop the existing lot owned by the Village of Allouez at 3241-3245 Riverside Drive.

It would be my intent to construct a two-story mixed-use building. This building would be called SKB Terrace.

My company, SKB Management Inc., would occupy the first floor commercial space. The second floor would be an owner-occupied apartment.

The building would be called SKB Terrace because it would include an attractive common area, open-air terrace in the design.

Therefore I respectfully request the approval of zoning from Commercial to Commercial/Residential.

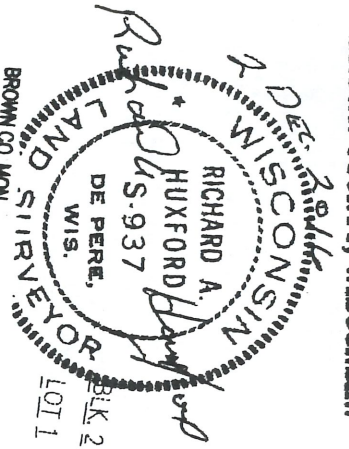
Attached are random photos from the internet to give you a conceptual idea of the building. However, I am in the process of working on the building plans with Somerville Architects & Engineers.

Thank you for your time.

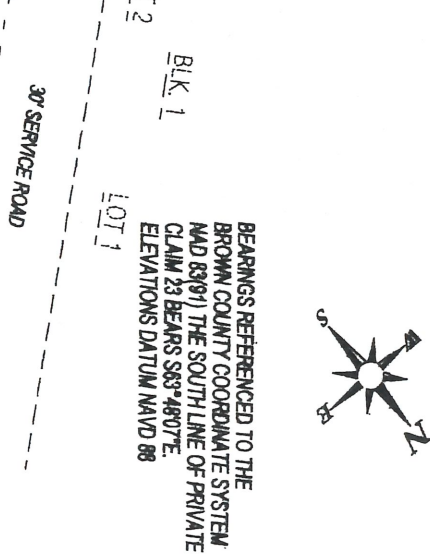
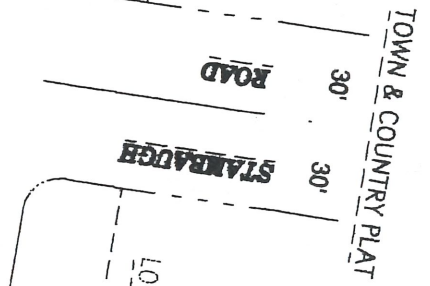
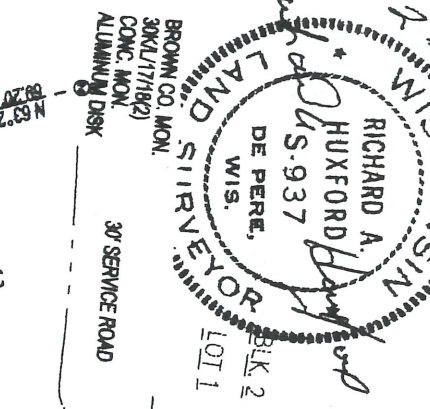


FIELD LOCATED & VERIFIED  
 G-S-18 / R.A. Huxford

**PLAT OF SURVEY**  
 PART OF LOT 1 AND ALL LOT 2, VOLUME 44 CERTIFIED SURVEY MAPS, PAGE 63 OF BROWN COUNTY RECORDS, BEING LOCATED IN PRIVATE CLAIM 23, EAST SIDE FOX RIVER, VILLAGE OF ALLOUEZ, BROWN COUNTY, WISCONSIN.



BEARINGS REFERENCED TO THE BROWN COUNTY COORDINATE SYSTEM MAD 83(91) THE SOUTH LINE OF PRIVATE CLAIM 23 BEARS S83°48'07\"/>



**RIVERSIDE DRIVE**  
**S.T.H. 57**

WOOD FENCE  
 LOT 1  
 P.C. 23 E.S.F.R.  
 N 63°50'09\"/>

GREENBRIER PLAT  
 LOT 2  
 LOT 3  
 N 63°50'09\"/>

**CURVE DATA**  
 L=139.94'  
 R=1112.92'  
 Δ=127°16'  
 ΔC=139.85'  
 ΔL=139.94'  
 ΔCB=N 45°47'27\"/>

**Parcel 1**  
 1.76 acres  
 76569.84 sq ft

**LOT 1**  
 44 CSM 63  
 DOC. 2725896

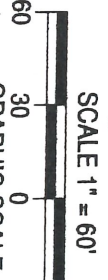
**LOT 2**  
 44 CSM 63  
 DOC. 2725897

**LOT 3**  
 44 CSM 63

AREA OF LOT 1  
 44 CSM 63 ADDED  
 TO LOT 48  
 AND PLOUS SUBDIVISION  
 PER DOC. 2750020

**OWNER:**  
 VILLAGE OF ALLOUEZ

Hurdorf Surveyors, Inc. 920-336-4011  
 2589 OAK RIDGE CIRCLE, DE PERE WI  
 DATE: 1/12/2016  
 VILLAGE OF ALLOUEZ TOWN & COUNTRY SITE



SHEET 1 OF 2

**LEGEND**

	COUNTY MONUMENT
	MATERIAL AS NOTED
	1 1/4\"/>
	1 1/4\"/>
	2 3/8\"/>
	TELEPHONE PEDESTAL
	SANITARY MANHOLE