

# Memo

To: Plan Commission, Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: PETITION FROM MCDONALD'S USA LLC REQUESTING PRELIMINARY APPROVAL OF A PLANNED DEVELOPMENT DISTRICT TO RENOVATE THE EXISTING DRIVE-THRU RESTAURANT ON PARCEL AL-50-8, LOCATED AT 1903 S WEBSTER AVENUE

Date: 24 January 2019

Attached are the proposed plans submitted by Landform Professional Services, LLC., on behalf of McDonald's USA, LLC. for the preliminary review of the planned development district at 1903 S Webster Avenue. Representatives from the development will be present at the meeting via phone to talk about the project and answer any questions.

## Planned Development District Process

The PDD process offers both the village and the developer flexibility from the zoning code. Not all details of the plan need to be consistent with what is required in the zoning code, but deviation from the zoning code should be to promote a development that is innovative in design, character, and quality.

The Plan Commission and Village Board are asked to make a decision on the preliminary plan review of the drive-thru restaurant building renovation proposal. Site specific details of the project should be discussed and concerns should be brought to the attention of the developer, however, preliminary plan approval or disapproval should be on project concept only – whether or not the proposed project would be consistent with the purpose, spirit, and intent of the Village Comprehensive Plan, other village development plans, and the purpose defined in Article VI of Chapter 475 of the village ordinances.

The petitioner is not prohibited from resubmitting the same or different proposal in the future if preliminary approval is not obtained. Furthermore, approval is preliminary only and does not bind the Village of Allouez to final approval of the project.

The reason for a Planned Development District is the use is an existing non-conforming use, as the property is zoned "Commercial" and does not allow for the drive-thru restaurants. The proposed renovations exceed the amount allowed in **Section 475-36D** of the Village Ordinances:

*"The remodeling involving structural alterations made in a nonconforming building shall not during its life exceed 50% of its assessed value, nor shall the building be enlarged unless the use therein is changed to a conforming use; provided, however, that a nonconforming building damaged by fire, explosion, tornado, earthquake or similar uncontrollable cause to an extent of not more than 60% of its value may be repaired or rebuilt within 12 months of the date of such damage, but not thereafter."*

## Recommendation

Staff has reviewed the presented plans and has shared initial comments with representatives of the development. Staff recommends preliminary approval of the proposed project concept given that the concept is an existing use and the drive-thru is in the rear and side of the building. The developer should continue to work with staff in developing a final site plan that is consistent with the Village of Allouez Comprehensive Plan and meets the necessary permit requirements.

**The Plan Commission is asked to recommend to the Village Board to approve, not to approve, or table the PDD petition.** If the recommendation is not to approve, reason for the recommendation must be provided. The Plan Commission can only table a decision for up to two months.

# Preliminary PDD Review – Staff Comments

---

**Site:** 1903 S. Webster Avenue (Parcel AL-50-8)  
**Petitioner:** Kevin Shay, Landform Professional Services, LLC. (on behalf of McDonald's USA, LLC.)

## Zoning Department review

- Items to consider for preliminary approval:
  - This parcel is not specifically mentioned in the Comprehensive Plan, but this area is mentioned in the Riverside Drive and Webster Avenue Corridor Study, which was incorporated into the Comprehensive Plan in 2015. Page 42 of the Corridor Study says, "No drive-through facilities should be allowed facing the street – they must all be located in the rear. Auto-oriented uses should be minimized and wide driveways should be discouraged in order to facilitate pedestrian movement." This development is an existing business and has the drive-thru in the rear of the building.
  - The property is located on an arterial road (CTH X/Webster Avenue), with commercial uses in the area.
- Items to consider for final approval:
  - A portion of the business parking and one of the ingress/egress is on the neighboring property. Evidence of an established easement for shared parking and ingress/egress between both properties should be provided/established.
  - Consideration should be given to a wider sidewalk terrace on Webster Avenue, should the road be reconstructed in the future.
  - A pedestrian connection should be provided from the sidewalk on Webster Avenue to the front entrance of the building.
  - Should the parking lot be resurfaced, improvements to the drive aprons should be made to ensure no more than 2% cross-slope in the sidewalk panels.
  - Building finishes and features should be of brick, stone, or other approved material.
  - Improvements to the sign should be included in final plan submittal.
  - Dumpster enclosure should be of consistent material as the primary building.
  - Designated bicycle parking should be provided.
  - Green space seems to be adequate at this time.
  - All other zoning requirements for "Commercial" stipulated in Chapter 475 of Village Ordinances should be met to the highest degree possible.

## Fire Department review

- No comments or concerns for this project.

## Parks, Recreation, and Forestry Department review

- No comments or concerns for this project.

## Public Works Department review

- No comments at this time. Will review more when detailed site plans and stormwater details are submitted for final approval.

## Building Inspection review

- No comments at this time. Will review more when detailed site plans are submitted for final approval.

**Date Reviewed:** January 24, 2019

**Comments Submitted By:** Trevor Fuller, Village of Allouez Planning & Zoning Administrator

## **Introduction**

On behalf of McDonald's USA, LLC, Landform is pleased to submit an application for a Planned Development District (PDD) to allow remodeling of the existing legal, nonconforming McDonald's Restaurant on a 1.17-acre lot located at 1903 Webster Avenue in Allouez. We are excited about improvements for the site, that will include a modern building, improved stormwater management, and improved pedestrian connections.

## **Site Plan**

The site is home to an existing McDonald's Restaurant. The site is currently served by two driveways, with the southern access granted through an access easement on the adjacent property. It is our intention to retain these existing access points with the improvements to the site.

### **Building Façade**

The exterior of the current building will be taken off and replaced with an updated style that includes materials such as brick, aluminum, and corrugated metal. The building exterior complies with the requirements in Section 475-92 of the Zoning Ordinance. The current building footprint will not change.

### **ADA Improvements**

The handicap stalls will be reconstructed to meet ADA standards. The existing sidewalk surrounding the building will be modified to meet ADA access standards along with the new connection to the public sidewalk located on the West side of Pinto Drive.

### **Striping the Parking Lot**

The existing parking lot will be striped to show the changes to the existing parking layout and to add additional traffic directional arrows to aid in smooth traffic flow on site. No reduction in the number of parking spaces will result from the improvements.

### **Signage**

The drive-through signage includes a menu board, presell board, order canopy, and a gateway sign. The sign elements meet the requirements in Section 475-78 of the Zoning Ordinance. The directional signage on site will be replaced with new signs. The directional signs meet the standards in Section 475-74 of the Zoning Ordinance.

### **Stormwater Management**

The stormwater management for the site will be improved by installing two drop structures on the east side of the site that will provide quality control by separating coarse particles from the stormwater runoff.

## Planned Development District

We are requesting a Planned Development District to allow remodeling of the existing McDonald's restaurant when exceeding the value of improvements for a legal nonconforming use. Section 475-52 of the Zoning Ordinance requires approval by the Village Board for a Planned Development District. Section 475-50 of the Zoning Ordinance outlines four criteria for determining the acceptability of a planned development proposal, our plans meet the criteria as follows:

1. *The uses proposed and their intensity and arrangement on the site shall be of such a visual, aesthetic and operational character that they:*
  - a) *Are compatible with the physical nature of the site, with particular concern for preservation of natural features, tree growth and open space.*

The site is an existing McDonald's restaurant. The proposed changes to the site will enhance the aesthetic character of the site by upgrading the exterior of the building. The proposed improvements will maintain the same amount of open space on the site, with two crosswalks added for additional pedestrian safety.

- b) *Would produce an attractive environment compatible with the general development plans established by the community.*

The proposed improvements are consistent with the Village of Allouez Comprehensive Plan which identifies the following goal, "Provide safe pedestrian and bicycle connections to destinations, such as parks, trails, schools, employment centers, shopping areas, and between/within subdivisions." The pedestrian connections provide a safer and more walkable environment.

- c) *Would not adversely affect the anticipated provision for school or municipal services.*

The site is currently served by utilities and the proposed improvements will not adversely affect these municipal services.

- d) *Would not create a traffic or parking demand which exceeds the capacity of those facilities proposed to serve it.*

The proposed improvements to the site will improve the traffic flow on the site and provide additional directional pavement markings to guide vehicles, creating a safer vehicle and pedestrian environment. The proposed parking is sufficient to serve the customers of the restaurant and meets the required parking in Section 475-32 of the Zoning Ordinance.

## **Summary**

We respectfully request approval of the planned development district to allow modifications to the McDonalds Restaurant at 1903 Webster Avenue.

Our understanding is the applications will be heard with a public hearing at the Planning Commission meeting on January 28<sup>th</sup> who will make a recommendation to the Village Board, who takes action at their February 5<sup>th</sup> meeting.

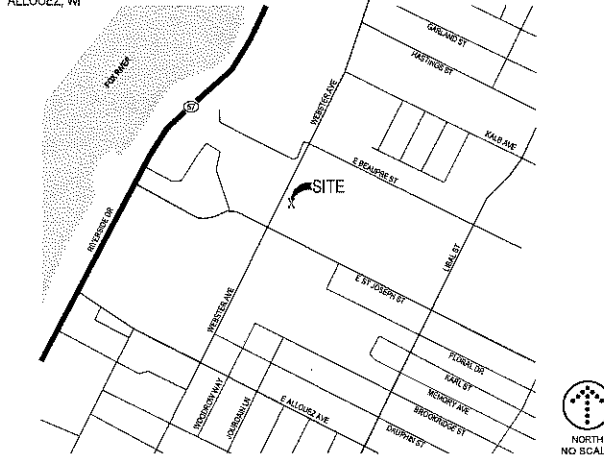
## **Contact Information**

This document was prepared by:

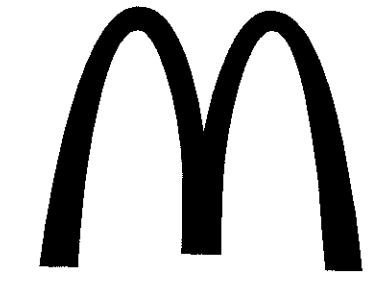
Kevin Shay  
Landform  
105 South Fifth Avenue, Suite 513  
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Kevin Shay at [kshay@landform.net](mailto:kshay@landform.net) or 612.638.0228.

### ALLOUEZ, WI AREA LOCATION MAP



# McDONALD'S USA, LLC.



## ALLOUEZ, WISCONSIN

ABBREVIATIONS			
D	Angle	L.B.	Point
&	And	L.G.U.	Local Government Unit
100 YR.	100 Year Flood Elevation	L.R.	Point
A.B.	Anchor Bolt	L.S.	Longitudinal
A.D.	Area Drain	L.T.	Light / Lighting
A.C.	Air Conditioning Unit	MANIT.	Maintenance
ADD.	Addendum	M.A.S.	Masonry
ADJ.	Adjustment	MATL.	Material
AHJ	Air Handling Unit	M.A.C.	Mechanical
ALT.	Alternate	M.C.H.	Mechanical
ALL.M.	Aluminum	M.F.R.	Manufacturer
ANOD.	Anodized	M.F.	Manhole
APPRX.	Approximate	M.N.	Minimum / Minute
ARCH.	Architectural	M.S.C.	Mechanical
AUTO.	Automatic	M.T.S.D.	Minnesota Department Of Transportation
AVG.	Average	M.O.	Mosaic / Modular
AWC	Back of Cub	M.L.	Maillon
B.W.	Buttress Wall	N.	North
B.F.E.	Basement Floor Elevation	N.C.	Not in Contact
B.F.	Bitumen (Asphalt)	N.D. OR #	Number
BLDG.	Building	N.H.	Normal
BM	Benchmark	H.T.S.	Not to Scale
BSMT.	Basement	H.W.E.	Normal Water Elevation
C.F.	Cubic Feet	H.V.L.	Normal Water Level
C.F.S.	Cubic Feet Per Second	O.G.	Outside Dimension
C.G.	Corner Guard	O.L.	Overhead
C.	Centerline	O.H.L.	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	O.P.W.	Opening
C.D.	Channel	O.P.S.	Original
C.O.E.	U.S. Army Corps Of Engineers	P.C.	Point of Curvature
C.V.	Cubic Yards	P.I.	Point of Intersection
CBM.H.	Catch Basin Manhole	P.V.	Post Indicator Valve
C.E.M.	Cement	P.L. OR P.L.	Property Line
C.P.	Cast Iron Pipe	P.O.B.	Point of Beginning
C.N.P.	Corrugated Metal Pipe	P.S.F.	Plastic Pipe Square Foot
C.O.N.C.	Concrete (Portland)	P.S.I.	Pounds Per Square Inch
C.O.N.C.	Concrete	P.T.	Point of Tangency
C.O.N.S.T.	Construction	P.V.C.	Point of Vertical Curvature
C.O.N.T.	Continuous	P.V.L.	Point of Vertical Tangency
C.O.N.T.R.	Control	P.W.T.	Polyethylene
C.O.P.P.	Copper	P.E.D.	Pedestrian
C.U.	Cubic	P.E.R.P.	Perforated
D.S.	Down Spout	P.R.E.P.	Preparation
D.E.S.	Denial	P.R.O.V.	Project
D.E.M.O.	Denial / Demolish	P.R.O.P.	Proposed
DEF.T.	Department	P.W.	Polyethylene Polyethylene
D.P.	Dual	P.N.T.	Proposed
D.I.A.	Diameter	P.O.N.T.	Point
D.I.A.G.	Diagonal	Q.T.R.	Quarter
D.M.	Dimension	Q.T.Y.	Quantity
D.P.	Ductile Iron Pipe	R.	Rack
D.N.	Down	R.A.D.	Radius
D.R.	Down	R.E.	Rim Elevation (Casting)
E.	East	R.C.	Rough Opening
E.J.	Expansion Joint	R.G.	Rough Opening
E.P.	Expansion Joint	R.P.	Rough Opening
E.O.S.	Emergency Overflow Siphon	R.C.	Rough Opening
E.W.	Each Way	R.S.	Rough Slab
E.L.	Elevation	R.S.D.	Roof Storm Drain
E.L.C.	Electrical	R.E.	Regarding
E.M.E.R.	Emergency	R.E.H.F.	Reinforced
E.N.R.	Engineer	R.E.C.D.	Required
E.N.T.R.	Entrance	R.E.V.	Revision / Revised
E.L.	Equal	R.G.U.	Regulatory Government Unit
E.Q.U.I.P.	Equipment	R.O.W. OR P.W.	Right of Way
E.Q.U.I.P.	Equipment	S.	Slope
E.Q.U.I.P.	Equipment	S.F.	Square Foot
E.Q.U.I.P.	Equipment	S.N.L.	Sanitary Sewer
E.Q.U.I.P.	Equipment	S.E.C.T.	Section
E.Q.U.I.P.	Equipment	S.E.	Soft Entry Walk Out
E.Q.U.I.P.	Equipment	S.E.W.O.	Soft Entry Walk Out / Side Exit Walk Out
F.I.T.	Furnish and Install	S.H.E.	Sheet
F.I.T.	Furnish and Install	S.M.	Similar
F.C.	Face of Cut	S.M.L.	Sheet Metal
F.D.	Floor Drain	S.N.T.	Sheet Metal
F.D.C.	Fire Department Connection	S.P.E.C.	Specification
F.V.	Field View	S.Q.	Square
F.B.	Full Basement	S.S.D.	Substrate Drain
F.B.O.	Full Basement Walk Out	S.T.M.H.	Storm Sewer Manhole
F.B.L.O.	Full Basement Look Out	S.T.D.	Standard
F.N.	Foundation	S.T.R.U.C.T.	Structural
F.F.E.	Flooded Floor Elevation	S.W.L.	Symbol
F.L.R.	Floor	T	Thickness
F.T. OR (T)	Fork	T.M.	Top of Rim
F.U.T.	Future	T.W.	Top of Wall
G.B.	Grade Break	T.E.M.P.	Temporary
G.C.	General Contractor	T.H.	Thick / Thickness
G.A.L.	Gable	T.J.	Tapped Joint
G.A.L.V.	Galvanized	T.M.P.	Top of Main Piped
G.E.	Garage Floor Elevation	T.Y.P.	Typical
G.L.	Grade	U.N.O.	Unless Noted Otherwise
G.R.	Grade	V.B.	Vertical Bar
H.	Height	V.C.	Vertical Curve
H.F.	High Point	V.P.	Vertex in Profile
H.H.P.E.P.	High Density Polyethylene Pipe	V.E.R.	Vertical
H.I.Z.	Horizontal	V.E.S.T.	Vertical
H.V.A.C.	Heating, Ventilation, Air Conditioning	W	Width
H.D.	Hydrant	W.P.T.	Working Point
I.D.	Inside Dimension OR Identification	W.P.F.	Welded Wire Fabric
I.E. or I.E	Invert Elevation	W.	With
I.B. OR (I)	Inch	W.O.	Without
I.N.C.	Information	W.C.	Walk Out
I.B.	Inch Elevation	W.L.	Walk
I.N.S.U.L.	Insulation	W.P.	Waterproof
I.N.	Invert	W.E.T.L.	Weight
J.T.	Joint	Y.L.	Year
L.F.	Line Feet	Y.R.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	PAVING BLOCK		EDGE OF FAVEMENT
	STORM SEWER LINE		FENCING
	SANITARY SEWER LINE		GUARD RAIL
	WATER MAIN		CONCRETE RETAINING WALL
	OVERHEAD ELECTRIC		MODULAR RETAINING WALL
	UNDERGROUND ELECTRIC		FIELDSTONE RETAINING WALL
	GAS LINE		EXIT LOCATION
	CONCRETE CURB		A = ACCESSIBLE E = EGRESS S = SERVICE
	RETAINING WALL		LIGHT STANDARD
	IRON MONUMENT FOUND		POWER POLE
	SURVEY DISK (BENCHMARK)		GRADE DIRECTION
	POWER POLE		CATCH BASIN
	GUY WIRE		MANHOLE
	GUARD POST		BOLLARD
	GAS METER		STORM SEWER
	TRANSFORMER		SANITARY SEWER WASTE
	WATER SHUT-OFF VALVE		FORCE MAIN
	TRAFFIC SIGN		ROOF DRAIN SYSTEM
	FLAG POLE		WATER MAIN
	LIGHT POLE		FIRE LINE (IF SEPARATE)
	TREES		FIRE DEPT. CONNECTION
	TREE LINE		SOIL SUBDRAN
	MANHOLE		GAS LINE-UNDERGROUND
	CATCH BASIN		ELECTRIC-UNDERGROUND
	FIRE HYDRANT		TELEPHONE-UNDERGROUND
	WATER VALVE		UNDERGROUND CABLETV
	FLARED END SECTION		LAWN SPRINKLER SLEEVE
	MAILBOX		DIRECTIONAL SIGNAGE
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOIL BORING		

### EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	COMPOST BIO-LOG
	INLET PROTECTION

### DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION-ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

### LEGAL DESCRIPTION

PART OF PARCEL "B" AS RECORDED IN VOLUME 2 OF CERTIFIED SURVEY MAPS ON PAGE 185, MAP NUMBER 447, DOCUMENT NUMBER 84899, BEING PART OF PRIVATE CLAIM "A" EAST SIDE OF FOX RIVER, TOWN OF ALLOUEZ, BROWN COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS PARCEL "B" OF SAID CERTIFIED SURVEY MAP LESS AND EXCEPTING THE SOUTHERLY 86.00 FEET OF THE WESTERLY 172.00 FEET THEREOF.

AND ALSO INCLUDING:

PART OF PARCEL "B", VOLUME 2 CERTIFIED SURVEY MAPS, PAGE 185, MAP NUMBER 447 BEING PART OF PRIVATE CLAIM "A" EAST SIDE OF FOX RIVER, IN THE VILLAGE OF ALLOUEZ, BROWN COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF PARCEL "B" OF VOLUME 2 CERTIFIED SURVEY MAPS, PAGE 185, MAP NUMBER 447, SAID POINT ALSO BEING ON THE EAST 40' FOOT RIGHT OF WAY LINE OF SOUTH WEBSTER AVENUE (AKA CTH "X"); THENCE S 28° 20' 15" W, 88.50 FEET ALONG SAID RIGHT OF WAY LINE AND THE WEST LINE OF SAID CERTIFIED SURVEY MAP TO THE POINT OF BEGINNING; THENCE S 40° 00' 42" E, 172.00 FEET; THENCE S 28° 15' 50" W, 11.00 FEET; THENCE S 60° 00' 49" W, 172.88 FEET TO SAID RIGHT OF WAY LINE; THENCE N 28° 20' 15" E, 1.00 FEET ALONG SAID RIGHT OF WAY LINE AND PARCEL TO THE POINT OF BEGINNING.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR SIDEWALK AND LANDSCAPING PURPOSES OVER AND ACROSS THE NORTHERLY 20 FEET OF THE SOUTHERLY 95 FEET OF THE WESTERLY 172 FEET OF PARCEL "B" OF VOLUME 2 OF CERTIFIED SURVEY MAPS PAGE 185, BEING A PART OF PRIVATE CLAIM "A" EAST SIDE OF THE FOX RIVER, VILLAGE OF ALLOUEZ, BROWN COUNTY, WISCONSIN AND RECORDED JUNE 20, 1983 IN JACKET 6275 IMAGE 18, AS DOCUMENT NUMBER 100794.

### BENCHMARK

PROJECT BENCHMARK  
 USE RIM OF SANITARY MANHOLE IN NORTHBOUND LEFT LANE OF WEBSTER AVENUE, NORTH OF THE NORTH WEST CORNER OF SITE.  
 RIM ELEVATION = 655.86 USGS DATUM  
 FROM ORIGINAL SITE SURVEY BY ROBERT F. REIDER  
 DATED MAY 25TH, 1982

### CIVIL SHEET INDEX & REVISION MATRIX

SHEET NO.	DESCRIPTION	DATE
C0.1	CIVIL TITLE SHEET	12/07/18
C1.1	CONSTRUCTION	X
C2.1	SITE PLAN	X
C2.2	DRIVE-THRU LAYOUT	X
C2.3	DRIVE-THRU DETAILS	X
C2.4	DRIVE-THRU DETAILS	X
C2.5	DRIVE-THRU DETAILS	X
C2.8	STRIPPING	X
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	X
C7.1	CIVIL CONSTRUCTION DETAILS	X
C7.2	CIVIL CONSTRUCTION DETAILS	X

### OWNER

McDONALD'S USA, LLC.  
 711 JORIE BOULEVARD, 3RD FLOOR  
 OAK BROOK, IL 60221-4425  
 TEL. (815) 275-5559  
 CONTACT: VICKY STADHER

### PROJECT CONTACTS

**CIVIL ENGINEER**  
**LANDFORM**  
 105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL. 612-252-9070  
 FAX 612-252-9077  
 CONTACT: SEAN MURPHY

**SURVEYOR**  
**LANDFORM**  
 105 SOUTH FIFTH AVENUE, SUITE 513  
 MINNEAPOLIS, MN 55401  
 TEL. 612-252-9070  
 FAX 612-252-9077  
 CONTACT: LYNN DASWELL

**ARCHITECT**  
**SEVAN MULTI-SITE SOLUTIONS**  
 4025 FOREST AVENUE  
 DOWNERS GROVE, IL 60515  
 TEL. 312-756-7778  
 CONTACT: JENNIFER HAUSER



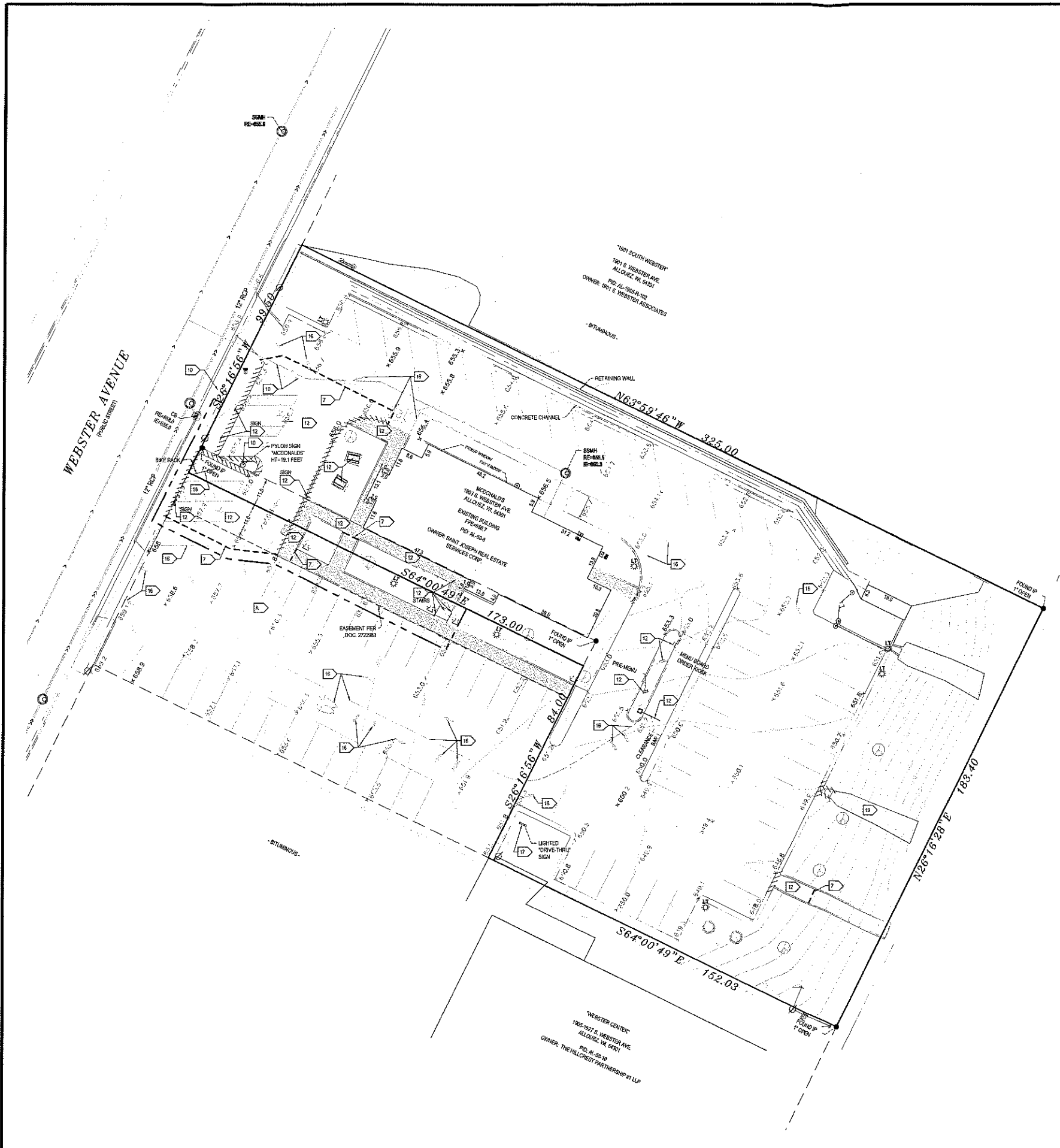
Know what's Below.  
 Call before you dig.



105 South Fifth Avenue  
 Suite 513  
 Minneapolis, MN 55401

Tel: 612-252-9070  
 Fax: 612-252-9077  
 Web: landform.net

STATE	CITY	STREET ADDRESS	COUNTY	STATE NUMBER	NATIONAL NUMBER
WI	ALLOUEZ	1903 S WEBSTER AVE	BROWN	9840174	08841
<p><b>SHEET NO. C0.1</b></p> <p>FILE NAME: C001MCD190.DWG                  PROJECT NO. MCD12190</p>					



**GENERAL NOTES**

A CONTRACTOR TO VERIFY THAT McDONALD'S HAS OBTAINED AN EASEMENT ON THE ADJACENT PROPERTY PRIOR TO PERFORMING ANY WORK ON THE ADJACENT PROPERTY.

**EXISTING CONDITIONS**

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM MINNEAPOLIS, MN, ON SEPTEMBER 4TH, 2014. EXPRESSLY FOR THIS PROJECT. ALLOWEZ, WI RECORD DRAWINGS AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

**DEMOLITION AND CLEARING NOTES**

2. OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
3. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
4. SEE SHEET C2.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
5. BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL AND EXAMINED BY COMPETENT PERSON. REMOVE STRUCTURE, COLUMNS, CANOPIES, AND ANY ASSOCIATED CONSTRUCTION WITHIN ENTIRETY. REFER TO ARCHITECTURE.
6. DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
7. SAWCUT EXISTING PAVEMENT. REMOVE CONCRETE WALKS, SLABS, AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
8. COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
9. PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. THE CITY REQUIRES TRAFFIC CONTROL MEASURES TO BE IN PLACE DURING UTILITY INSTALLATION, EXISTING BUILDING DEMOLITION, DRIVEWAY INSTALLATION, SIDEWALK INSTALLATION AND FINAL RESTORATION WITHIN THE RIGHT-OF-WAY.
10. PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
11. REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
12. REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
13. COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, FIDUCIARIES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
14. EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
15. HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS.
16. REMOVE PAVEMENT MARKINGS.
17. REMOVE AND REPLACE FOUNDATION AS NECESSARY FOR NEW DIRECTIONAL SIGN. REFER TO DETAILS C2.A1 AND C2.B. SEE SHEET C2.1 FOR ADDITIONAL NOTES.
18. REMOVE AND SALVAGE BIKE RACK. REFER TO SHEET C2.1 FOR NEW LOCATION.
19. REMOVE AND SALVAGE RIP RAP. REFER TO SHEET C2.1 FOR NEW LOCATION.

**DEMOLITION LEGEND**

- CURB REMOVAL
- PAVEMENT SAWCUT
- CONSTRUCTION LIMITS

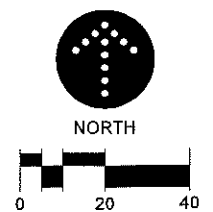
REV	DATE	DESCRIPTION



**McDONALD'S USA, LLC.**

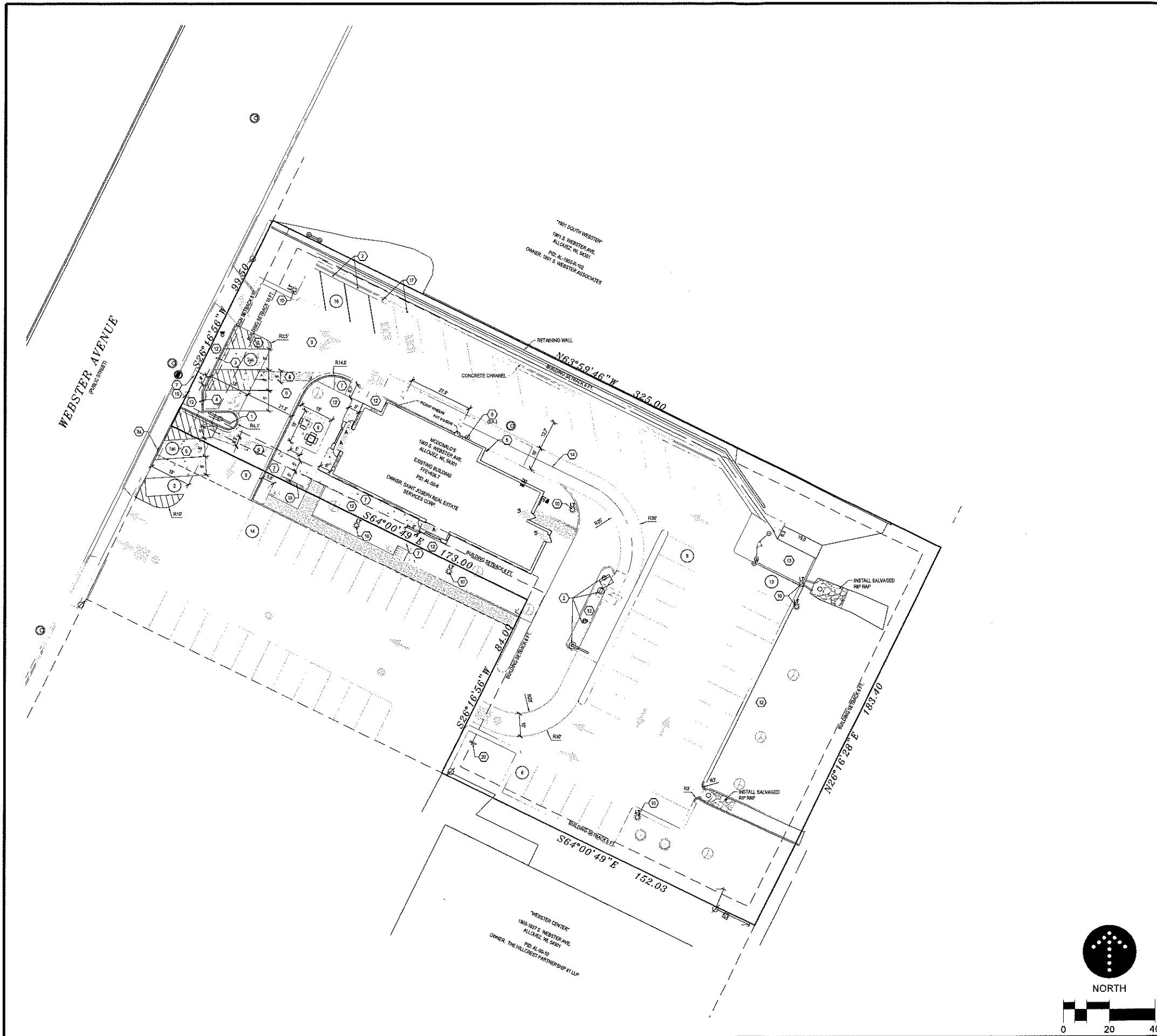
THESE DRAWINGS ARE THE PROPERTY OF LANDFORM MINNEAPOLIS, MN. ANY REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM LANDFORM MINNEAPOLIS, MN, IS STRICTLY PROHIBITED. THE CONTRACT DOCUMENTS WERE PREPARED FOR USE ON THIS SPECIFIC SITE IN CONNECTION WITH THIS PROJECT. ANY REUSE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF LANDFORM MINNEAPOLIS, MN, IS STRICTLY PROHIBITED. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANY OTHER PROJECT IS NOT AUTHORIZED.

STATE	WI	COUNTY	BROWN
STREET ADDRESS	1903 S WEBSTER AVE		
SHEET NAME	DEMOLITION		
NATIONAL NUMBER	86481	STATE NUMBER	046-0174
DRAWN BY	TCD	PROT. ISSUED	
DATE		REVIEWED BY	ONG
		DATE REVIEWED	12/28/16
		DATE ISSUED	12/27/16



**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 812-252-0070  
Suite 513 Fax: 812-252-0077  
Minneapolis, MN 55401 Web: landform.net



**SITE CONSTRUCTION NOTES**

- 1) McDONALD'S Pylon SIGN - EXISTING.
- 2) DRIVE-THRU SIGNAGE - SEE SHEET C2.2.
- 3) STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD PER DETAIL C7.1A.
- 4) STATE AND ADA APPROVED ACCESSIBLE SIGN WITH "VAN ACCESSIBLE" SIGN PER DETAIL C7.1A.1.
- 5) 6" x 36" BOLLARD, REFER TO DETAIL C7.1A AND NOTE "M" ON SHEET C2.2, CONTRACTOR TO PROVIDE NEW BOLLARD COVER ON ALL EXISTING BOLLARDS.
- 6) CONCRETE DRIVE APRONS AND SLABS, REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- 7) CONCRETE SIDEWALK, MEET AND MATCH EXISTING SIDEWALK, REFER TO SHEET C3.1.
- 8) CONCRETE PATIO, MEET AND MATCH SIDEWALK, REFER TO SHEET C3.1.
- 9) BITUMINOUS PAVEMENT, REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- 10) PARKING LOT LIGHT, - EXISTING.
- 11) RESERVED.
- 12) PLANTING AREA, REPLACE IN-KIND FOR AREAS THAT ARE DISTURBED.
- 13) TRASH ENCLOSURE, - EXISTING.
- 14) STAKING DISTANCE IS 120'.
- 15) CONNECTION TO PUBLIC SIDEWALK.
- 16) RESERVED.
- 17) MOBILE ORDER PICK UP SIGNAGE, REFER TO DETAIL C2.62.
- 18) REPLACE SALVAGED BIKE RACK.

**DIRECTIONAL SIGNAGE NOTES**

- 19) NEW OR REPLACED DIRECTIONAL SIGNAGE IS NOT BEING APPROVED AS PART OF THIS PLAN SET WITH THE JURISDICTION.
- 20) DIRECTIONAL SIGNAGE, INSTALL NEW BASE FOR DIRECTIONAL SIGNAGE AS NECESSARY, REFER TO DETAIL C2.41 AND SEPARATE SIGN PACKAGE. IF EXISTING BOLT PATTERN WORKS WITH NEW SIGNAGE, AND THE BOLTS ARE LONG ENOUGH, CONTRACTOR MAY REUSE EXISTING FOUNDATION, IF BOLT PATTERN DOES NOT MATCH, OR IF BOLTS ARE NOT LONG ENOUGH FOR THE BOLTS TO BE DOUBLE NUTTED, REMOVE AND INSTALL NEW FOUNDATION, NO RETROFIT FOUNDATIONS ARE ALLOWED.

**SITE PLAN NOTES**

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

**ZONING AND SETBACK SUMMARY**

THE PROPERTY IS ZONED COMMERCIAL ZONE (C)  
 BUILDING SETBACK INFORMATION IS AS FOLLOWS  
 FRONT YARD = 15 FT.  
 REAR = 5 FT.  
 SIDE (INT.) = 5 FT.  
 SIGN SETBACK INFORMATION IS AS FOLLOWS  
 FRONT = 8 FT.

**PARKING SUMMARY**

REQUIRED PARKING	
ONE STALL PER 100 SF OF BUILDING	
3,667 SF TOTAL	
3,667 SF / 100 = 37 STALLS	
TOTAL PARKING STALLS REQUIRED	37 EA.
PROVIDED PARKING	
STANDARD STALLS	50 EA.
ACCESSIBLE STALLS	3 EA.
TOTAL PARKING STALLS PROVIDED	53 EA.

**AREA SUMMARY**

	EXISTING	PERVIOUS	IMPERVIOUS	TOTAL
PERVIOUS	11,959 S.F.	0.274 AC.		27.9%
IMPERVIOUS	31,233 S.F.	0.719 AC.		72.0%
TOTAL	43,198 S.F.	0.991 AC.		100.0%
	PROPOSED	PERVIOUS	IMPERVIOUS	TOTAL
PERVIOUS	11,857 S.F.	0.272 AC.		27.4%
IMPERVIOUS	33,331 S.F.	0.719 AC.		72.6%
TOTAL	43,188 S.F.	0.991 AC.		100.0%

**LEGEND**

GREEN SPACE

REVISION HISTORY

REV	DATE	DESCRIPTION

**CERTIFICATION**



**SITE PLAN NOTES**

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

**ZONING AND SETBACK SUMMARY**

THE PROPERTY IS ZONED COMMERCIAL ZONE (C)  
 BUILDING SETBACK INFORMATION IS AS FOLLOWS  
 FRONT YARD = 15 FT.  
 REAR = 5 FT.  
 SIDE (INT.) = 5 FT.  
 SIGN SETBACK INFORMATION IS AS FOLLOWS  
 FRONT = 8 FT.

**PARKING SUMMARY**

REQUIRED PARKING	
ONE STALL PER 100 SF OF BUILDING	
3,667 SF TOTAL	
3,667 SF / 100 = 37 STALLS	
TOTAL PARKING STALLS REQUIRED	37 EA.
PROVIDED PARKING	
STANDARD STALLS	50 EA.
ACCESSIBLE STALLS	3 EA.
TOTAL PARKING STALLS PROVIDED	53 EA.

**AREA SUMMARY**

	EXISTING	PERVIOUS	IMPERVIOUS	TOTAL
PERVIOUS	11,959 S.F.	0.274 AC.		27.9%
IMPERVIOUS	31,233 S.F.	0.719 AC.		72.0%
TOTAL	43,198 S.F.	0.991 AC.		100.0%
	PROPOSED	PERVIOUS	IMPERVIOUS	TOTAL
PERVIOUS	11,857 S.F.	0.272 AC.		27.4%
IMPERVIOUS	33,331 S.F.	0.719 AC.		72.6%
TOTAL	43,188 S.F.	0.991 AC.		100.0%

**LEGEND**

GREEN SPACE

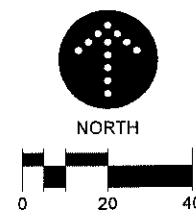
**McDONALD'S USA, LLC.**

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF LANDFORM COMMUNICATIONS, INC. AND SHALL BE KEPT IN STRICTLY CONFIDENTIAL. NO PART OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF LANDFORM COMMUNICATIONS, INC. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR AT A LATER DATE. THE USE OF THESE DRAWINGS FOR ANY OTHER PROJECT OR AT A LATER DATE WITHOUT THE WRITTEN CONSENT OF LANDFORM COMMUNICATIONS, INC. IS STRICTLY PROHIBITED. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR USE ON ANOTHER PROJECT IS NOT AUTHORIZED.

DRAWN BY	TDD
PRO'D ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	12/05/18
DATE ISSUED	12/07/18

CITY	ALLOUEZ	STATE	WI
COUNTY	BROWN		
STREET ADDRESS	1903 S WEBSTER AVE		
SHEET NAME	SITE PLAN		
NATIONAL NUMBER	08481	STATE NUMBER	048-0174

SHEET NO.	<b>C2.1</b>
FILE NAME	C201MCD190.DWG
PROJECT NO.	MCD12190

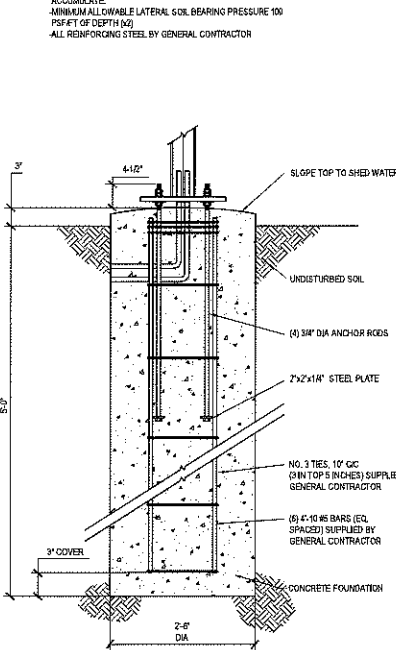


105 South Fifth Avenue Tel: 612-252-9075  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

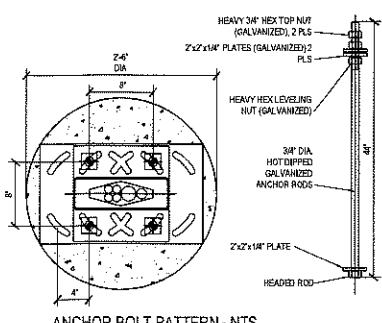


**FOUNDATION NOTES**  
 -FROST DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF FT OF DEPTH (42)  
 -ALL REINFORCING STEEL BY GENERAL CONTRACTOR

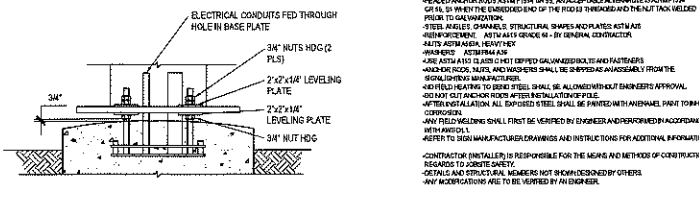
**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SINGHLIGHTING MANUFACTURER



FOUNDATION - NTS



ANCHOR BOLT PATTERN - NTS



CONNECTION DETAILS - NTS

**GENERAL NOTES**

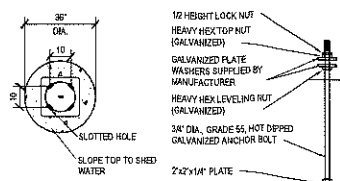
- THE FOLLOWING CODES WERE USED IN DESIGN:
  - SECTION 214
  - SECTION 215
  - SECTION 216
  - SECTION 217
  - SECTION 218
  - SECTION 219
  - SECTION 220
  - SECTION 221
  - SECTION 222
  - SECTION 223
  - SECTION 224
  - SECTION 225
  - SECTION 226
  - SECTION 227
  - SECTION 228
  - SECTION 229
  - SECTION 230
  - SECTION 231
  - SECTION 232
  - SECTION 233
  - SECTION 234
  - SECTION 235
  - SECTION 236
  - SECTION 237
  - SECTION 238
  - SECTION 239
  - SECTION 240
  - SECTION 241
  - SECTION 242
  - SECTION 243
  - SECTION 244
  - SECTION 245
  - SECTION 246
  - SECTION 247
  - SECTION 248
  - SECTION 249
  - SECTION 250
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
  - AXIAL LOAD - 900 LBS
  - SHEAR FORCE - 700 LBS
  - OVERTURNING MOMENT - 5500 LB-FT
- USE 5000 PSI CONCRETE COMPRESSIVE STRENGTH (F'<sub>c</sub>)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF FT OF DEPTH (42)
- PROVIDE A MINIMUM 4\"/>

**NOTE:**

- DESIGN CODES:
  - SECTION 214
  - SECTION 215
  - SECTION 216
  - SECTION 217
  - SECTION 218
  - SECTION 219
  - SECTION 220
  - SECTION 221
  - SECTION 222
  - SECTION 223
  - SECTION 224
  - SECTION 225
  - SECTION 226
  - SECTION 227
  - SECTION 228
  - SECTION 229
  - SECTION 230
  - SECTION 231
  - SECTION 232
  - SECTION 233
  - SECTION 234
  - SECTION 235
  - SECTION 236
  - SECTION 237
  - SECTION 238
  - SECTION 239
  - SECTION 240
  - SECTION 241
  - SECTION 242
  - SECTION 243
  - SECTION 244
  - SECTION 245
  - SECTION 246
  - SECTION 247
  - SECTION 248
  - SECTION 249
  - SECTION 250
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
  - AXIAL LOAD - 900 LBS
  - SHEAR FORCE - 700 LBS
  - OVERTURNING MOMENT - 5500 LB-FT
- USE 5000 PSI CONCRETE COMPRESSIVE STRENGTH (F'<sub>c</sub>)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF FT OF DEPTH (42)
- PROVIDE A MINIMUM 4\"/>

**NOTES:**

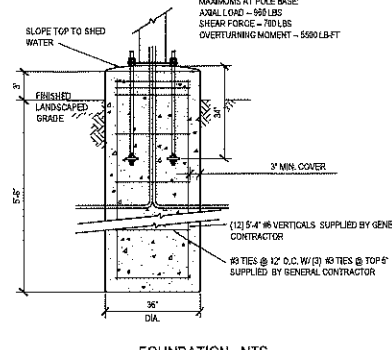
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SINGHLIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



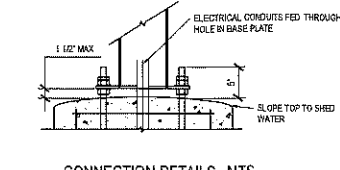
ANCHOR BOLT PATTERN - NTS

**NOTES:**

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SINGHLIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



FOUNDATION - NTS



CONNECTION DETAILS - NTS

**GENERAL NOTES**

- THE FOLLOWING CODES WERE USED IN DESIGN:
  - SECTION 214
  - SECTION 215
  - SECTION 216
  - SECTION 217
  - SECTION 218
  - SECTION 219
  - SECTION 220
  - SECTION 221
  - SECTION 222
  - SECTION 223
  - SECTION 224
  - SECTION 225
  - SECTION 226
  - SECTION 227
  - SECTION 228
  - SECTION 229
  - SECTION 230
  - SECTION 231
  - SECTION 232
  - SECTION 233
  - SECTION 234
  - SECTION 235
  - SECTION 236
  - SECTION 237
  - SECTION 238
  - SECTION 239
  - SECTION 240
  - SECTION 241
  - SECTION 242
  - SECTION 243
  - SECTION 244
  - SECTION 245
  - SECTION 246
  - SECTION 247
  - SECTION 248
  - SECTION 249
  - SECTION 250
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
  - AXIAL LOAD - 900 LBS
  - SHEAR FORCE - 700 LBS
  - OVERTURNING MOMENT - 5500 LB-FT
- USE 5000 PSI CONCRETE COMPRESSIVE STRENGTH (F'<sub>c</sub>)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF FT OF DEPTH (42)
- PROVIDE A MINIMUM 4\"/>

NO.	REVISION	DATE	DESCRIPTION

DATE: 12/20/18

PROJECT: ORDER HERE CANOPY - 130 MPH FACTORED WIND SPEED

PROJECT NO: C23

PROJECT FILE: C23MCD190.DWG

PROJECT FILE: MCD12190

CITY: ALLOUEZ

STREET ADDRESS: 1903 S WEBSTER AVE

SHEET NAME: DRIVE-THRU DETAILS

STATE: WI

COUNTY: BROWN

DATE ISSUED: 12/20/18

DATE REVISION: 12/20/18

NATIONAL NUMBER: 06471

STATE NUMBER: 046-0174

REVISION HISTORY:

REVISION:

DATE:

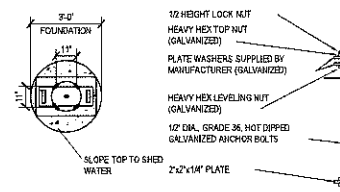
DESCRIPTION:

**MCDONALD'S USA, LLC.**

THIS DOCUMENT IS THE PROPERTY OF MCDONALD'S USA, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND PURPOSE SPECIFICALLY INTENDED BY MCDONALD'S USA, LLC. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED AND SUBJECT TO PROSECUTION. MCDONALD'S USA, LLC. 1903 S WEBSTER AVE, BROWN, WI 53003

**GENERAL NOTES**

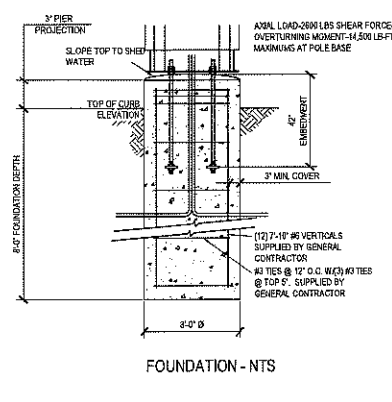
- THE FOLLOWING CODES WERE USED IN DESIGN:
  - SECTION 214
  - SECTION 215
  - SECTION 216
  - SECTION 217
  - SECTION 218
  - SECTION 219
  - SECTION 220
  - SECTION 221
  - SECTION 222
  - SECTION 223
  - SECTION 224
  - SECTION 225
  - SECTION 226
  - SECTION 227
  - SECTION 228
  - SECTION 229
  - SECTION 230
  - SECTION 231
  - SECTION 232
  - SECTION 233
  - SECTION 234
  - SECTION 235
  - SECTION 236
  - SECTION 237
  - SECTION 238
  - SECTION 239
  - SECTION 240
  - SECTION 241
  - SECTION 242
  - SECTION 243
  - SECTION 244
  - SECTION 245
  - SECTION 246
  - SECTION 247
  - SECTION 248
  - SECTION 249
  - SECTION 250
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
  - AXIAL LOAD - 2000 LBS
  - SHEAR FORCE - 2000 LBS
  - OVERTURNING MOMENT - 14,500 LB-FT
- USE 5000 PSI CONCRETE COMPRESSIVE STRENGTH (F'<sub>c</sub>)
- PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF FT OF DEPTH (42)
- PROVIDE A MINIMUM 4\"/>



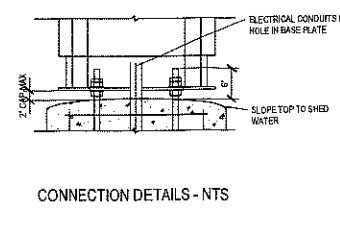
ANCHOR BOLT PATTERN - NTS

**NOTES:**

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SINGHLIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

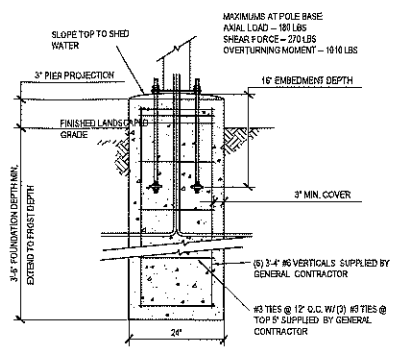


FOUNDATION - NTS



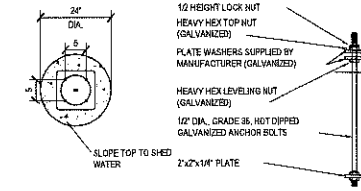
CONNECTION DETAILS - NTS

NOTE:  
DESIGN CODES  
IBC 2016  
ASCE 7-16  
ACI 318.1M  
ASCE 13th EDITION  
AWS D1.1  
WIND SPEED 130 MPH FACTORED, 3-SEC GUST  
EXPOSURE C  
DESIGN LOADS DERIVED FROM THESE CODES AND FORCES  
-AXIAL - 100#  
-SHEAR - 270#  
-MOMENT - 191#  
-USE CONCRETE WITH A 3000 PSI MINIMUM COMPRESSIVE STRENGTH (FC)  
-PIER DEPTHS REQUIRED ARE MINIMUM. ALL PIERS TO EXTEND TO PROST  
DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT  
ACCUMULATE.  
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND  
ELECTRICAL REQUIREMENTS.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF  
DEPTH (K1)  
-TOP OF SOIL, NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS  
(EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.  
-ALL REINFORCING STEEL BY GENERAL CONTRACTOR.



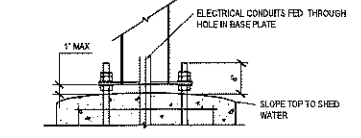
FOUNDATION - NTS

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT  
ACCUMULATE.  
-USE #5/8 GRADE 36 BOLTS MINIMUM  
-USE HOT DIPPED GALVANIZED BOLTS.  
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISI CODE OF  
STANDARD PRACTICE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN  
ASSEMBLY FROM THE SIGNALIGHTING MANUFACTURER.  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.



ANCHOR BOLT PATTERN - NTS

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT  
ACCUMULATE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN  
ASSEMBLY FROM THE SIGNALIGHTING MANUFACTURER.  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.  
-INSTALL DIRECTIONAL SIGN FOOTING 3' FROM THE BACK OF CURB  
TO THE CENTER OF FOOTING UNLESS NOTED OTHERWISE ON PLAN.

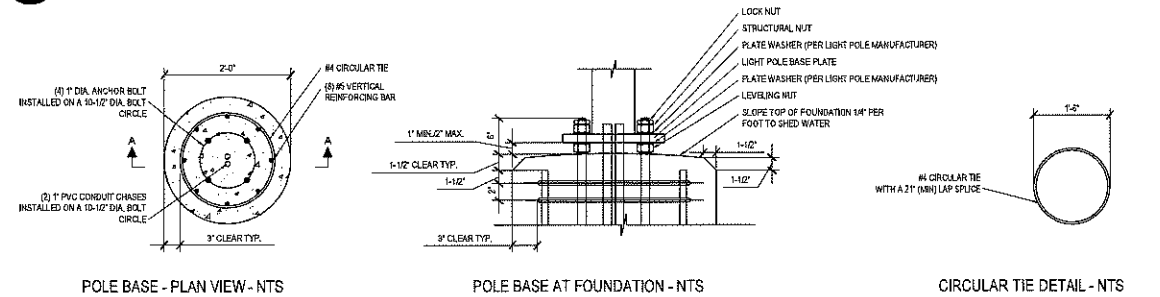


CONNECTION DETAILS - NTS

GENERAL NOTES

-THE FOLLOWING CODES SHALL BE USED UNLESS  
NOTED OTHERWISE:  
IBC 2016  
ASCE 7-16  
ACI 318.1M  
ASCE 13th EDITION  
AWS D1.1  
WIND SPEED 130 MPH FACTORED (3-SEC GUST)  
EXPOSURE C  
DESIGN LOADS DERIVED FROM THESE CODES AND FORCES  
-AXIAL - 100#  
-SHEAR - 270#  
-MOMENT - 191#  
-USE CONCRETE WITH A 3000 PSI MINIMUM COMPRESSIVE STRENGTH (FC)  
-PIER DEPTHS REQUIRED ARE MINIMUM. ALL PIERS TO EXTEND TO PROST  
DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT  
ACCUMULATE.  
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND  
ELECTRICAL REQUIREMENTS.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF  
DEPTH (K1)  
-TOP OF SOIL, NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS  
(EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.  
-ALL REINFORCING STEEL BY GENERAL CONTRACTOR.

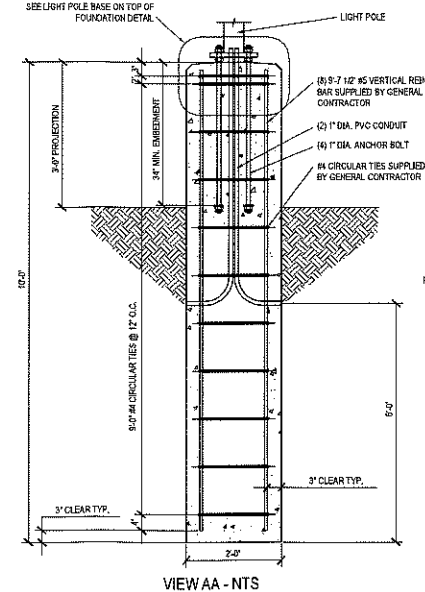
1 TYPICAL DIRECTIONAL SIGN FOUNDATION & CONNECTION DETAILS - 130 MPH FACTORED WIND SPEED



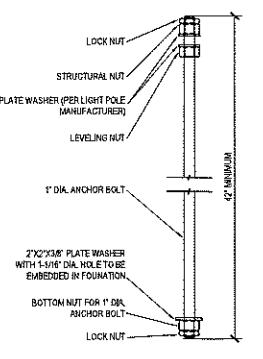
POLE BASE - PLAN VIEW - NTS

POLE BASE AT FOUNDATION - NTS

CIRCULAR TIE DETAIL - NTS



VIEW AA - NTS



ANCHOR BOLT - NTS

DESIGN CRITERIA  
AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS,  
FIFTH EDITION, 2005

FOUNDATION DESIGN PARAMETERS

- MAXIMUM LIGHT POLE BASE REACTIONS: BASE MOMENT = 16,845 lb-ft; BASE SHEAR = 970 lbs
- MAXIMUM WIND SPEED (3 SECOND GUST) = 130 MPH (155 MPH FACTORED)
- MINIMUM REQUIRED SOIL PARAMETERS, COHESIVE SOILS:  
- SHEAR STRENGTH = 750 psf  
- 5" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL  
- COHESIONLESS SOILS  
- ANGLE OF INTERNAL FRICTION = 27 DEGREES  
- WATER TABLE SHALL BE LOCATED BELOW THE BOTTOM OF THE FOUNDATION  
- 5" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
- THE SOILS REPORT SHALL BE REVIEWED BY THE ENGINEER OF RECORD TO CONFIRM THAT THE  
MINIMUM SOIL PARAMETERS ARE MET OR EXCEEDED BEFORE THIS DESIGN IS USED. IF THE  
MINIMUM SOIL PARAMETERS ARE NOT MET, THIS DESIGN SHALL NOT BE USED.
- THE ENGINEER OF RECORD SHALL REVIEW THE MAXIMUM BASE REACTIONS AND DESIGN WIND  
SPEED FOR THE LIGHT POLE TO BE INSTALLED TO DETERMINE IF THE FOUNDATION'S MAXIMUM  
DESIGN LOADS HAVE NOT BEEN EXCEEDED. THIS FOUNDATION DESIGN SHALL NOT BE USED IF  
THE MAXIMUM DESIGN LOADS OR WIND SPEED HAVE BEEN EXCEEDED.
- THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHICH ARE CLOSER THAN 8'  
FROM A RETAINING WALL.
- THIS FOUNDATION DESIGN SHALL NOT BE USED AT LOCATIONS WHERE THE GROUND SLOPE  
EXCEEDS 4 INCHES PER FOOT.

GENERAL NOTES:

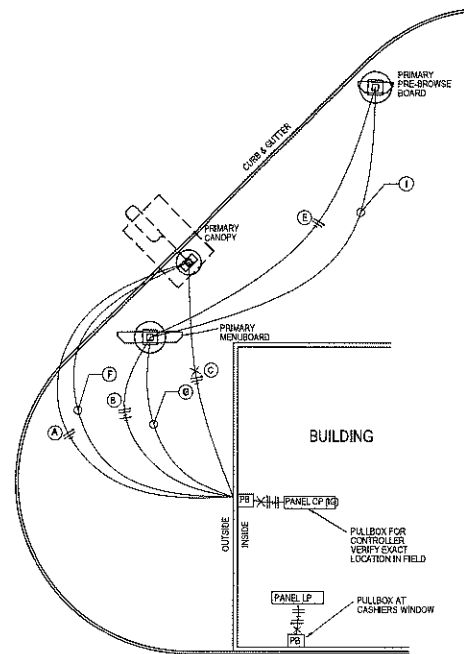
- CONCRETE COMPRESSIVE STRENGTH (FC) SHALL BE A MINIMUM OF 3000psi
- ANCHOR BOLTS SHALL BE ASTM A193 GRADE 8, HOT DIP GALVANIZED PER ASTM F2209
- REINFORCING STEEL SHALL BE ASTM A636 GRADE 60, SUPPLIED BY GENERAL CONTRACTOR
- NUTS SHALL BE HEAVY HEX ASTM A193 GRADE 8, HOT DIP GALVANIZED PER ASTM A193
- PLATE SHALL BE ASTM A36 GRADE 50, HOT DIP GALVANIZED PER ASTM A193
- LOCK NUT SHALL BE HOT DIP GALVANIZED PER ASTM A193

2 TYPICAL LIGHT POLE FOUNDATION DETAILS

NO SCALE

REVISION HISTORY		DATE	REV	CERTIFICATION
		12/07/18		
<p><b>McDONALD'S USA, LLC.</b></p> <p>THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S USA, LLC IS STRICTLY PROHIBITED. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S USA, LLC. MCDONALD'S USA, LLC AND ITS ENGINEERS, REPRESENTATIVES AND AGENTS, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND SPECIFICATIONS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR USE ON ANY OTHER PROJECT IS NOT AUTHORIZED.</p>				
DRAWN BY	STATE	CITY	STREET ADDRESS	SHEET NAME
TDD	WI	ALLOUJZ	1903 S WEBSTER AVE	DRIVE-THRU DETAILS
PROTO. ISSUED	COUNTY			NATIONAL NUMBER
	BROWN			0441
REVIEWED BY				
CHG				
DATE REVIEWED				
12/05/18				
DATE ISSUED				
12/07/18				
SHEET NO.	FILE NAME	PROJECT NO.		
C2.4	C204MCD196.DWG	MCD12190		

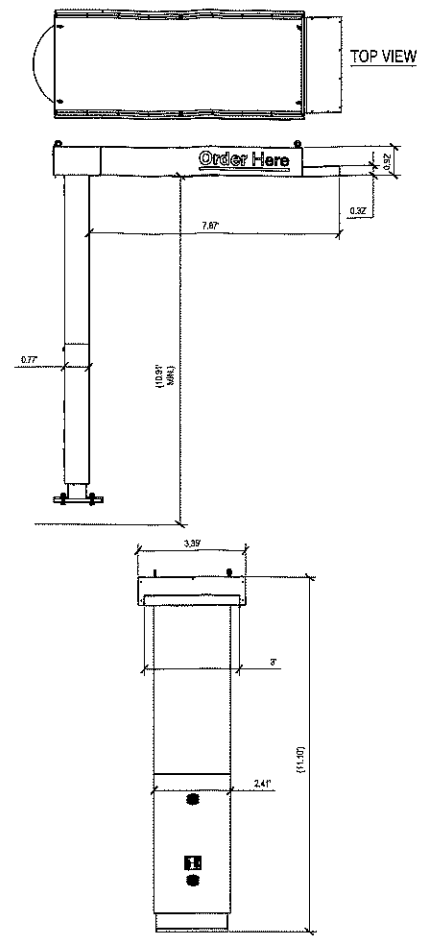
- KEY NOTES:
- (A) 2#12 & 1#12 GND, 3/4" CONDUIT TO LP-1 FOR CDD CANOPY LIGHTING
  - (B) 4#12 & 1#12 GND, & 1#12 ISOLATED GND, 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
  - (C) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO CANOPIES. EACH CANOPY SHALL BE ON ITS OWN SEPARATE CIRCUIT.
  - (D) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS & MEDIA PLAYERS.
  - (E) 2#12 & 1#12 GND, & 1#12 ISOLATED GND, 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO PRE-BROWSE BOARDS AND MEDIA PLAYERS.
  - (F) (2) 1-1/2" CONDUIT ONE FOR CANOPY CABLING ONE FOR LOOP DETECTOR
  - (G) 2" CONDUIT - FOR CAT6 DATA CABLES
  - (H) 1-1/2" CONDUIT - FOR CAT6 DATA CABLES
  - (I) 1" CONDUIT - FOR CAT6 DATA CABLES



SKETCH CREATED FROM ELECTRICAL OPO UPDATE (E-OPO) DATED SEPT. 2012

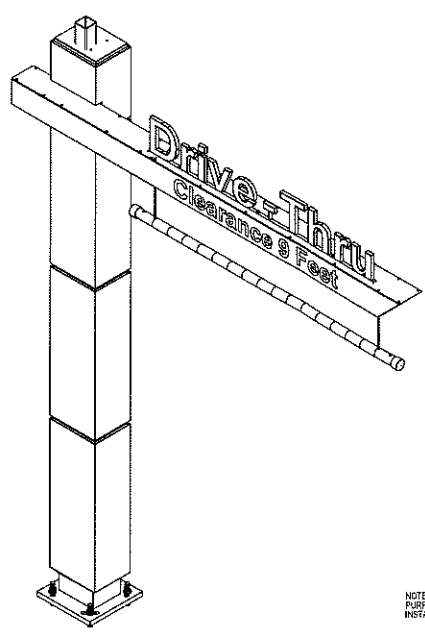
**3 DRIVE-THRU WIRING DETAIL**  
NO SCALE

- GENERAL NOTES:
1. VERIFY EXACT CIRCUITS AND QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES ON DRAWING E&Z AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  2. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS SEPARATE DEDICATED NEUTRALS ARE REQUIRED TO MENUBOARD AND PRE-BROWSE BOARD FOR EACH CIRCUIT (PLC AND LIGHTING).
  3. IF ANY BENDS ARE REQUIRED, SWEEPS MUST BE PROVIDED IN CONDUITS.
  4. FOR EXISTING LOCATIONS, VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARE SPACES FOR TWO (2) NEW 20AMP CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IN NECESSARY.
  5. VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.
  6. DATA AND POWER CANNOT BE LOCATED IN SAME CONDUIT. THEY MUST BE SEPARATED.



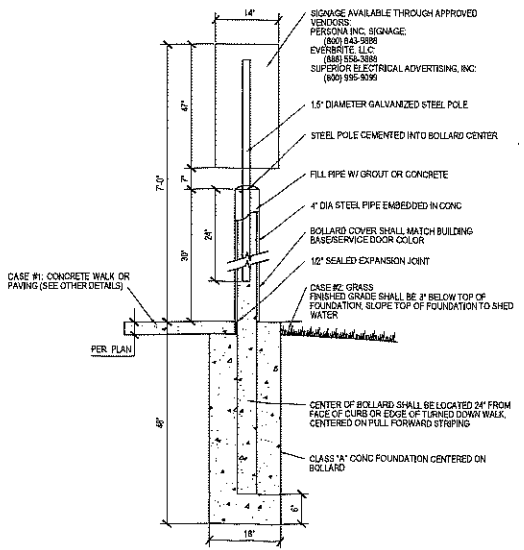
NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS

**1 CANOPY SCHEMATIC DETAIL**  
NO SCALE



NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS

**4 SINGLE GATEWAY SCHEMATIC DETAIL**  
NO SCALE

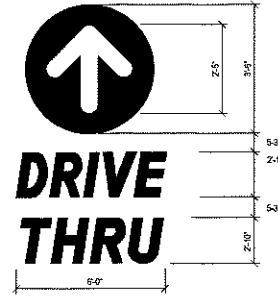
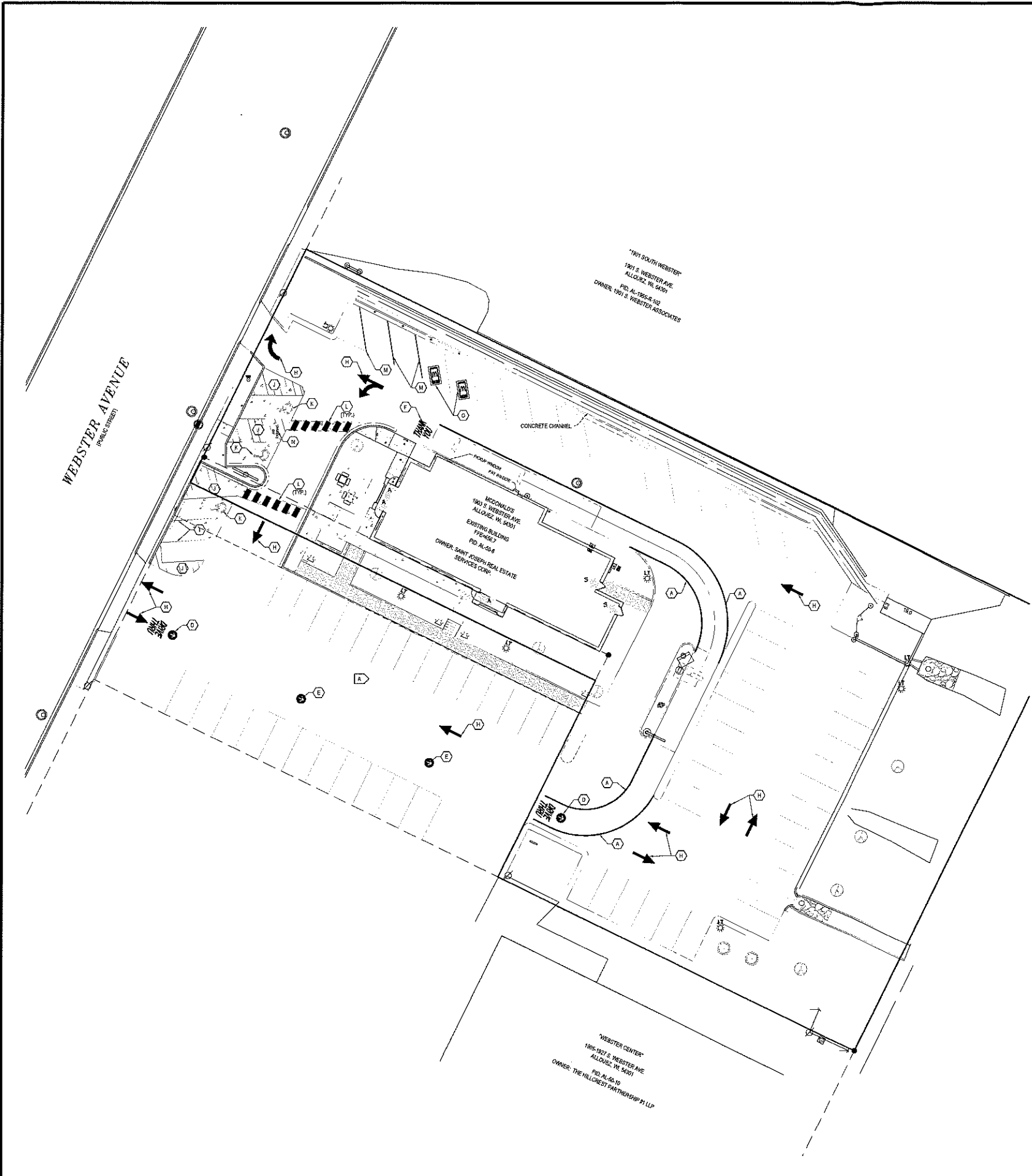


**2 PULL FORWARD OR MOBILE ORDER PICK UP SIGNS WITH BOLLARD**  
NO SCALE

REVISION HISTORY		DATE		REV		CERTIFICATION	
NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY

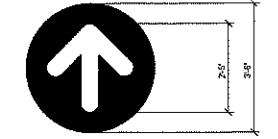
  

<b>McDONALD'S USA, LLC.</b>							
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S USA, LLC. ANY REPRODUCTION OR USE OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC IS STRICTLY PROHIBITED. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC.							
CITY	STATE	DRAWN BY	DATE	CITY	STATE	REVIEWED BY	DATE
ALBUQUERQUE	NM	TDD	12/07/18	BROWN	NM	CND	12/07/18
STREET ADDRESS		NATIONAL NUMBER		STATE NUMBER		DATE ISSUED	
1903 S WEBSTER AVE		06481		046-0174		12/07/18	
SHEET NAME		PROJECT NO.		PROJECT NAME		PROJECT LOCATION	
DRIVE-THRU DETAILS		MCD12185		C2.5		1903 S WEBSTER AVE	



NOTE: ALL TEXT AND ARROW SHALL BE PAINTED YELLOW (PMS 123)

1 PAINTED 'DRIVE THRU' WITH ARROW  
NO SCALE



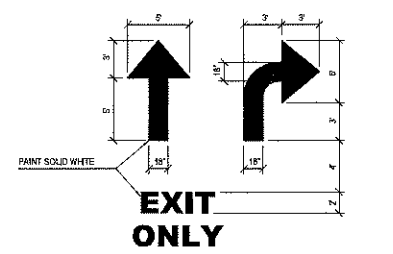
NOTE: ARROW SHALL BE PAINTED YELLOW (PMS 123)

2 PAINTED ARROW  
NO SCALE



NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)

3 PAINTED 'THANK YOU'  
NO SCALE



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

4 TYPICAL PAVEMENT MARKING  
NO SCALE



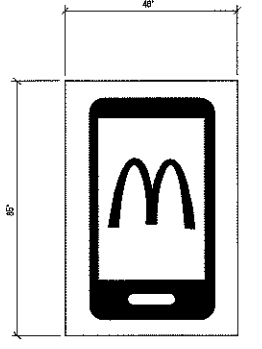
NOTE: TEXT SHALL BE PAINTED WHITE

5 PAINTED 'NO PARKING'  
NO SCALE



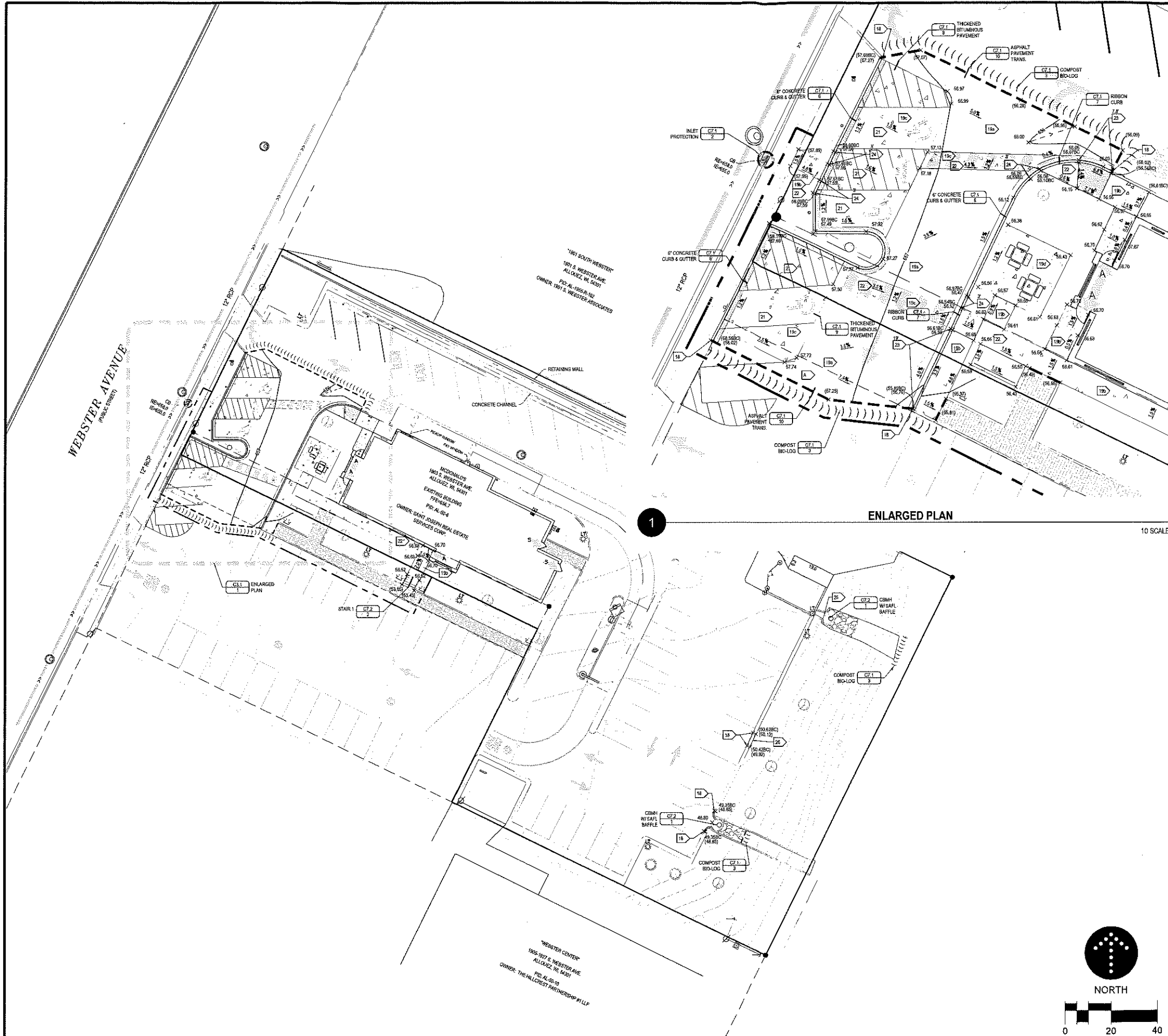
- GENERAL NOTES**
- A CONTRACTOR TO VERIFY THAT McDONALD'S HAS OBTAINED AN EASEMENT ON THE ADJACENT PROPERTY PRIOR TO PERFORMING ANY WORK ON THE ADJACENT PROPERTY.
- STRIPING NOTES**
- A 6" WIDE PAINTED STRIPE, WHITE
  - B RESERVED
  - C RESERVED
  - D PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 1, SEE GENERAL NOTE 4
  - E PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 2, SEE GENERAL NOTE 4
  - F PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 3, SEE GENERAL NOTE 4
  - G RESERVED
  - H PAINTED SITE CIRCULATION ARROW, SEE DETAIL 4, SEE GENERAL NOTE 4
  - I 4" WIDE CUSTOMER PARKING STRIPING, WHITE
  - J STRIPED AREA TO BE PAINTED WITH 4" LINES AT 18" O.C. AT 45 DEGREES TO PATH OF TRAVEL, WHITE
  - K PAINTED HANDICAP SYMBOL, TYP., WHITE, SEE DETAIL C7-51
  - L 2' x 4' PAINTED CROSSWALK STRIPING AT 4" O.C., WHITE
  - M 4" WIDE RESERVED DRIVE-THRU PARKING STALL STRIPING, PMS 123 YELLOW
  - N PAINTED GRAPHIC, SEE DETAIL 5, SEE GENERAL NOTE 4
  - O PAINTED GRAPHIC, SEE DETAIL 6, SEE GENERAL NOTE 4

- GENERAL NOTES**
1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY McDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
  2. SEE SHEET C2.1 FOR ALL RADIIUS DIMENSIONS.
  3. SEE SHEET C2.2 FOR DRIVE-THRU CONSTRUCTION.
  4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING AUTHORIZED PROVIDER:  
PAVEMENT STENCIL COMPANY  
P.O. BOX 1804  
ROANOKE, VA 24014  
PH: 800-250-6461 FAX: 540-427-1326  
PAVEMENTSTENCIL.NET



6 PAINTED MOBILE ORDER SYMBOL  
NO SCALE

<p><b>McDonald's USA, LLC.</b></p> <p>THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S. THESE DRAWINGS ARE NOT VALID FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE IS STRICTLY PROHIBITED. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR RELEASE ON ANOTHER PROJECT IS ANY UNAUTHORIZED.</p>																		
	<p><b>REVISION HISTORY</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV	DATE	DESCRIPTION														
REV	DATE	DESCRIPTION																
<p><b>CITY</b> ALLOUEZ</p> <p><b>STATE</b> WI</p> <p><b>COUNTY</b> BROWN</p> <p><b>STREET ADDRESS</b> 1903 S WEBSTER AVE</p> <p><b>SHEET NAME</b> STRIPING</p> <p><b>NATIONAL NUMBER</b> 96481</p> <p><b>STATE NUMBER</b> 048-0174</p>	<p><b>DRAWN BY</b> TDD</p> <p><b>PROTO. ISSUED</b></p> <p><b>REVIEWED BY</b> CMC</p> <p><b>DATE REVIEWED</b> 12/05/18</p> <p><b>DATE ISSUED</b> 12/07/18</p>																	
<p><b>SHEET NO.</b> C2.6</p> <p><b>FILE NAME:</b> C265MCD190.DWG</p> <p><b>PROJECT NO.</b> MCD12190</p>	<p><b>811</b></p> <p>Know what's Below. Call before you dig.</p> <p><b>LANDFORM</b></p> <p>From Site to Finish</p> <p>105 South Fifth Avenue Suite 513 Minneapolis, MN 55401</p> <p>Tel: 812-252-9070 Fax: 812-252-9077 Web: landform.net</p>																	



**GENERAL NOTES**

1. CONTRACTOR TO VERIFY THAT McDONALD'S HAS OBTAINED AN EASEMENT ON THE ADJACENT PROPERTY PRIOR TO PERFORMING ANY WORK ON THE ADJACENT PROPERTY.

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AND INSPECTED PRIOR TO BEGINNING WORK. MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN-OFF ARE PERMANENTLY STABILIZED AND DISPOSED OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
- SEED, SOIL, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:
 

ITEM	SPECIFICATION NUMBER
SEED	WISDOT 601
MULCH	WISDOT 620
FERTILIZER	WISDOT 627
- ALL DISTURBED LANDSCAPE AREAS SHALL BE RESTORED IN-KIND. COORDINATE WITH McDONALD'S AREA CONSTRUCTION MANAGER.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

**GRADING NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS. SOIL CORRECTION AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT COHESIVE SOILS IN PAVED AREAS TO 96% OF MAXIMUM DRY DENSITY. STANDARD PROCTOR (ASTM D998) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FULL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT. IN GRANULAR SOILS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
- COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS. SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENT SHOULD CONTINUE OVER STOOPS.

**PAVING NOTES**

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE.
- GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NON-VARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTOUR LINES.
- MEET AND MATCH EXISTING CURB. TRANSITION AS NEEDED.
- PAVING SECTIONS
  - BITUMINOUS PAVING
    - 1.5-INCH BITUMINOUS WEAR (WISDOT 450)
    - 2.5-INCH BITUMINOUS BASE (WISDOT 300)
    - 6-INCH AGGREGATE BASE (WISDOT 305)
  - CONCRETE WALKWAYS
    - 4-INCH CONCRETE, 4,000 PSI, 5% AIR ENTRAINMENT, MAX. 4" SLUMP (WISDOT 415)
    - 4-INCH AGGREGATE BASE (WISDOT 300)
    - COMPACTED SUBGRADE
    - JOINTS TO BE DESIGNED AND INSTALLED BY CONTRACTOR
  - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
    - 7-INCH CONCRETE, 4,000 PSI, 5% AIR ENTRAINMENT, MAX. 4" SLUMP (WISDOT 415)
    - 7-INCH AGGREGATE BASE (WISDOT 300)
    - COMPACTED SUBGRADE
  - CONCRETE PATIOS
    - 3-INCH CONCRETE, 4,000 PSI, 5% AIR ENTRAINMENT, MAX. 4" SLUMP (WISDOT 415)
    - 4-INCH AGGREGATE BASE (WISDOT 300)
- CONCRETE JOINTS
  - JOINING TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
  - INSTALL JOINTS ACROSS SIDEWALKS, CURBS AND PAVEMENTS. PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
    - TOOLED JOINTS: DIVIDE PANELS INTO NOMINALLY EQUAL AREAS.
    - EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX.; CURBS - 60 FEET MAX.; PAVEMENT - 80 FEET MAX. ADJACENT TO BUILDING FOUNDATIONS AND STOOPS.
    - CONTRACTION JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 42 TO 15 FEET.
- ACCESSIBLE PAVING STALLS AND ADJACENT ACCESS AREAS SHALL NOT EXCEED A 2.0% SLOPE IN ANY DIRECTION. THESE AREAS OF THE SITE HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). CONTRACTOR WILL BE HELD TO THESE REQUIREMENTS. IF A DISCREPANCY IS DISCOVERED BETWEEN THE PLANS AND THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM RUNNING SLOPE OF 5.00%. THESE AREAS OF THE SITE HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). CONTRACTOR WILL BE HELD TO THESE REQUIREMENTS. IF A DISCREPANCY IS DISCOVERED BETWEEN THE PLANS AND THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- TRANSITION TO EXISTING CONCRETE CURB.
- TRANSITION BETWEEN 6" CONCRETE CURB AND GUTTER TO RIBBON CURB. REFER TO DETAIL C7.1A.
- MODIFY CONCRETE FLUME AS NECESSARY TO DIRECT ALL DRAINAGE INTO PROPOSED STRUCTURE. MATCH FLOWLINE ELEVATIONS TO OPENING OF NEW STRUCTURE.
- MATCH ADJACENT CURB.
- ADJUST STRUCTURE RIMS TO MATCH NEW PAVEMENT ELEVATIONS.

**LEGEND**

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
(Symbol: Inlet Protection)	INLET PROTECTION	1 EACH
(Symbol: Compost or Bio-Log)	COMPOST OR BIO-LOG	150 FEET
(Symbol: Pedestrian Ramp)	PEDESTRIAN RAMP	
(Symbol: Tip Out Curb)	TIP OUT CURB	
(Symbol: Pavement Sawcut)	PAVEMENT SAWCUT	
(Symbol: Construction Limits)	CONSTRUCTION LIMITS	

**811**  
Know what's Below. Call before you dig.

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fac: 612-252-9077  
Web: landform.net

**McDONALD'S USA, LLC.**

STATE: WI COUNTY: BROWN CITY: ALLOUEZ

STREET ADDRESS: 1903 S WEBSTER AVE

SHEET NAME: GRADING, DRAINAGE, PAVING, & EROSION CONTROL NATIONAL NUMBER: 048-0174

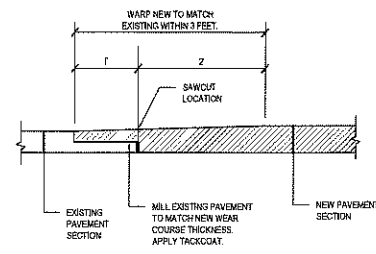
DATE REVIEWED: 12/05/18 DATE ISSUED: 12/07/18

REVISION HISTORY: (Table with columns for REV, DATE, and DESCRIPTION)

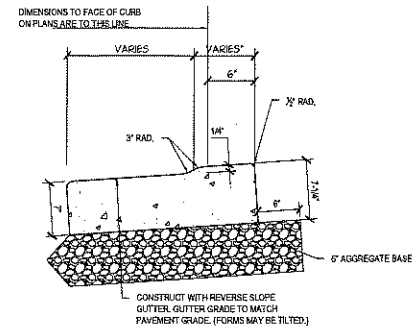
CERTIFICATION: (Professional Engineer Seal for Steven Sabrowski, No. 47594, State of Wisconsin)

SHEET NO. **C3.1**

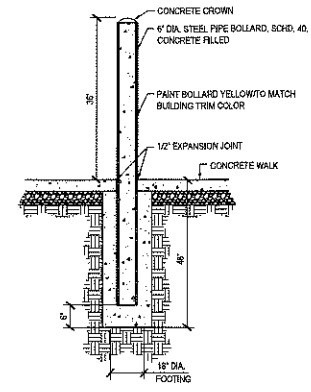
FILE NAME: C301MCD190.DWG PROJECT NO. MCD121280



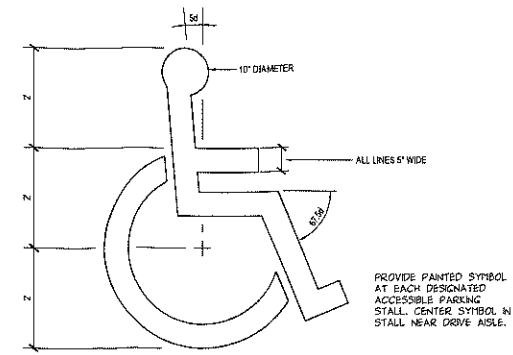
**10 ASPHALT PAVEMENT TRANSITION** NO SCALE



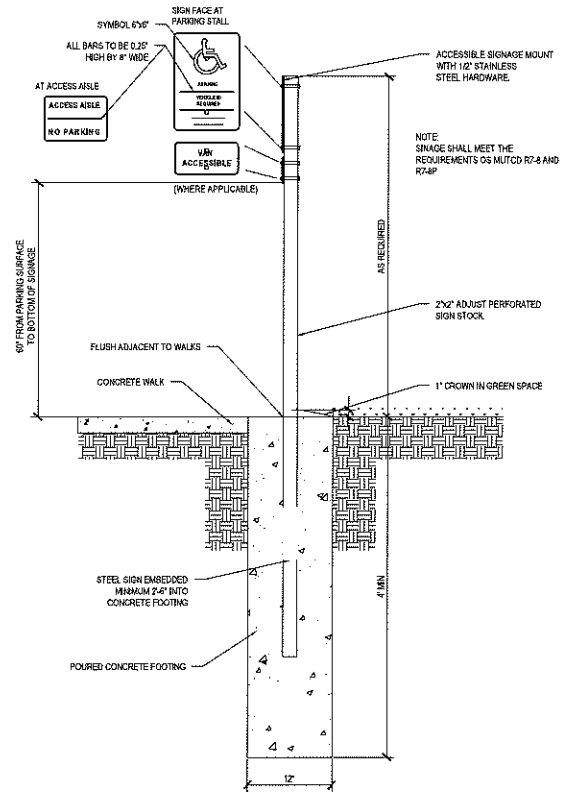
**7 CONCRETE RIBBON CURB** NO SCALE



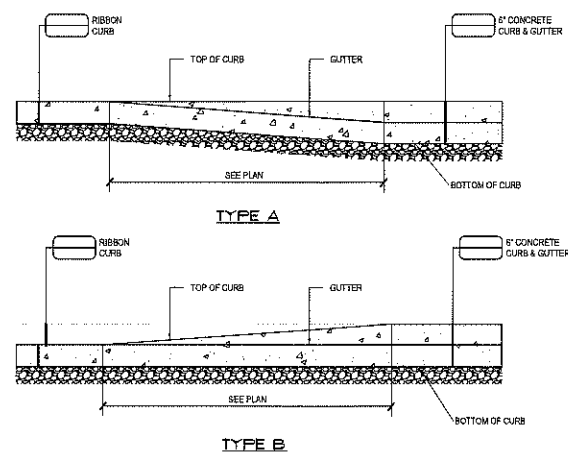
**4 ROUND PIPE BOLLARD** NO SCALE



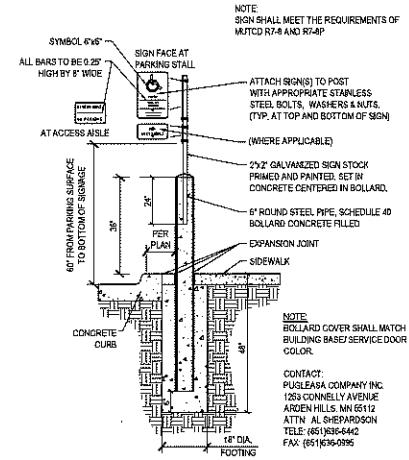
**1 INTERNATIONAL SYMBOL OF ACCESS** NO SCALE



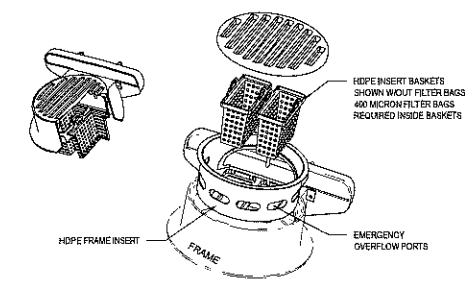
**11 STEEL SIGN POST W/ ACCESSIBLE SIGNAGE** NO SCALE



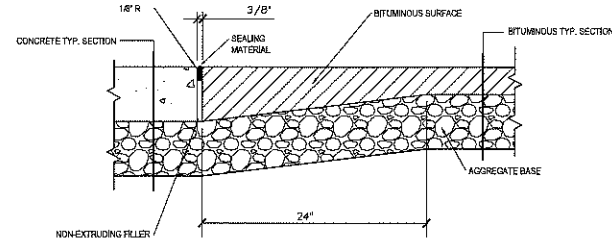
**8 CONCRETE CURB TRANSITION** NO SCALE



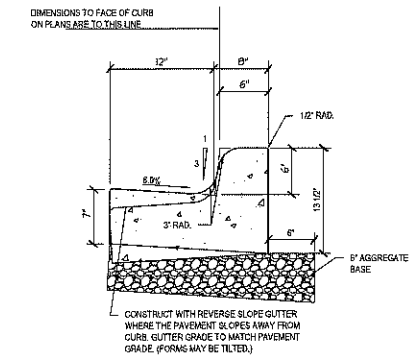
**5 ROUND BOLLARD MCDONALD'S W/ ACCESSIBLE SIGNAGE** NO SCALE



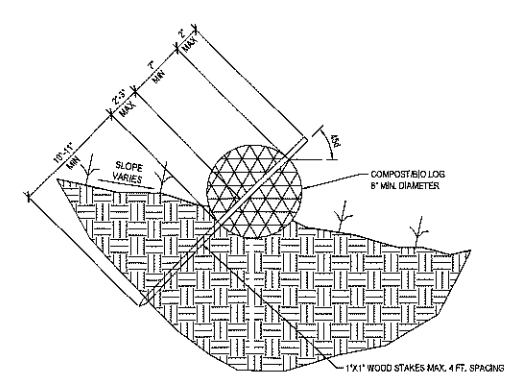
**2 INLET PROTECTION** NO SCALE



**9 THICKENED BITUMINOUS EDGE AND CONCRETE SURFACE** NO SCALE



**6 6-INCH CONCRETE CURB AND GUTTER** NO SCALE



**3 TEMPORARY COMPOST/BIO LOG** NO SCALE



**McDONALD'S USA, LLC.**

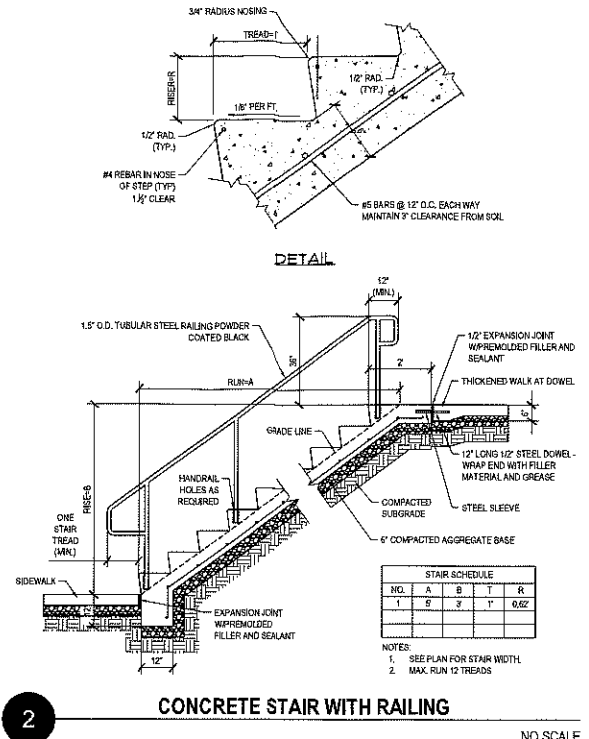
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY INFORMATION OF MCDONALD'S USA, LLC. ANY REPRODUCTION OR USE OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S USA, LLC IS STRICTLY PROHIBITED. MCDONALD'S USA, LLC AND ITS AFFILIATED COMPANIES ARE NOT LIABLE FOR DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS OR SPECIFICATIONS. REPRODUCTION OF THE CONTRACT DOCUMENT FOR REUSE ON ANY OTHER PROJECT IS NOT AUTHORIZED.

STATE	WI	COUNTY	BROWN
CITY	ALLOUEZ	STREET ADDRESS	1903 S WEBSTER AVE
SHEET NAME	CIVIL CONSTRUCTION DETAILS		
NATIONAL NUMBER	06481	STATE NUMBER	046-0174
DATE ISSUED	12/27/16	DATE REVIEWED	12/28/16
PROJ. NO.	ISSUED BY	REVIEWED BY	CNC
DRAWN BY	TD	DATE	12/27/16

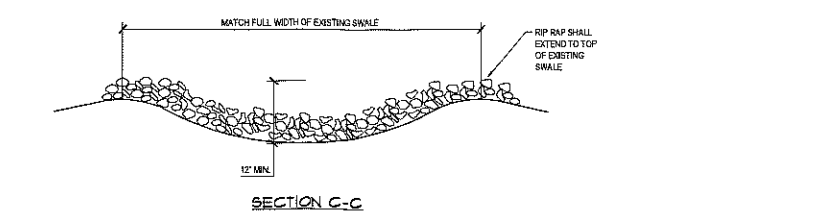
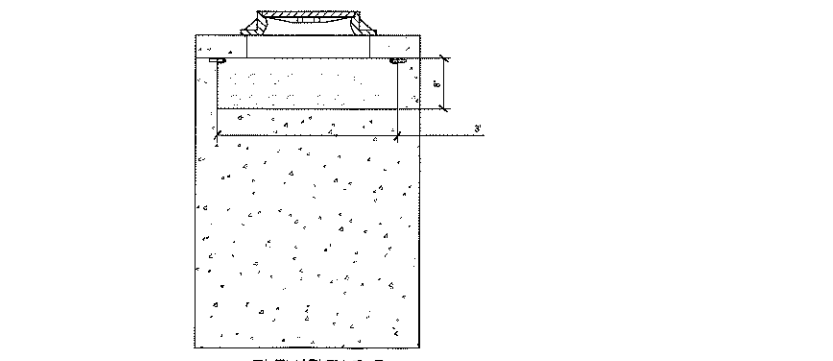
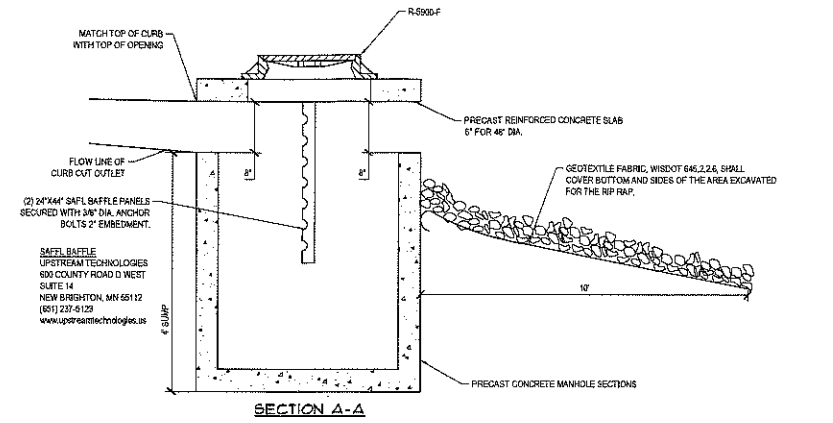
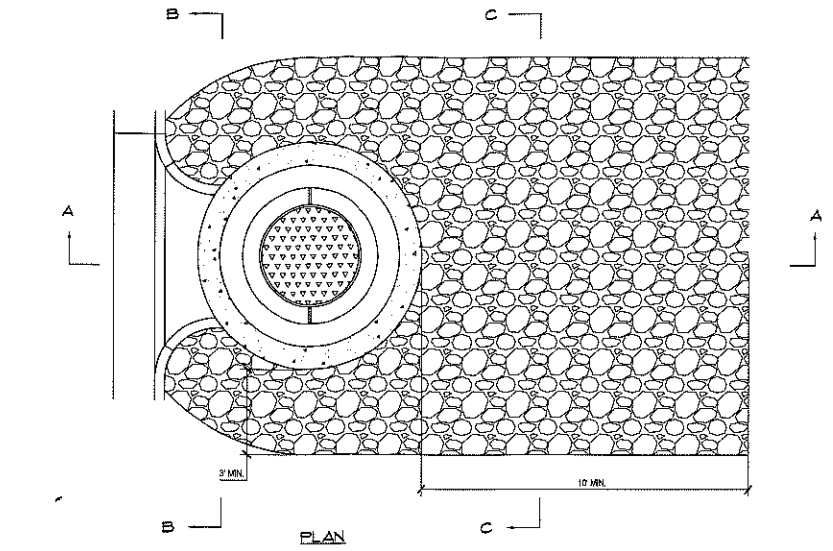


105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

SHEET NO. **C7.1**  
 FILE NAME: C701MCD190.DWG  
 PROJECT NO. MCD12190



2 CONCRETE STAIR WITH RAILING NO SCALE



1 STORM SEWER CATCH BASIN MANHOLE WITH SAFL BAFFLE NO SCALE

REV	DATE	DESCRIPTION

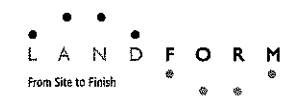


**McDONALD'S USA, LLC.**

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF LANDFORM TECHNOLOGIES, INC. AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR USE ON THIS SPECIFIC SITE IN CONSULTATION WITH THE DATE AND TIME OF THE PROJECT. ANY REUSE OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF LANDFORM TECHNOLOGIES, INC. IS STRICTLY PROHIBITED. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.

DESIGNED BY	DATE
PROT. ISSUED	12/0718
REVIEWED BY	
DATE REVIEWED	

CITY	STATE	COUNTY
ALLOUEZ	WI	BROWN
STREET ADDRESS	SHEET NAME	
1903 S WEBSTER AVE	CIVIL CONSTRUCTION DETAILS	
NATIONAL NUMBER	STATE NUMBER	DATE ISSUED
09601	98-074	12/0718



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

SHEET NO. **C7.2**  
FILE NAME: C702MCD190.DWG  
PROJECT NO. MCD12193