

Memo

To: Plan Commission, Village Board

Fr: Trevor Fuller, Planning and Zoning Administrator

Re: ACTION RE: PETITION FROM HIGHLAND VENTURES – REQUESTING SITE PLAN AND DESIGN REVIEW FOR THE ADDITION AND THE REMODEL PROJECT OF THE PROPOSED DOLLAR GENERAL LOCATED AT 3921 S. WEBSTER AVENUE, PARCEL AL- AL-1724-4-1 (current vacant Family Video property)

Date: 20 April 2023

A request for a site plan was received from Highland Ventures for the proposed Dollar General addition and remodel project at 3921 S. Webster Avenue (current vacant Family Video property).

The property is classified as a “Storefront Building” under the MX2 (Neighborhood Mixed-Use) zoning district. See the plan and staff comments.

A design exception request was also submitted for this project. Staff recommends approving the site plan review with the condition that the items that do not meet code requirements be satisfied through the design exception request. All items not requested and approved under the design exception request must meet code requirements.

Plan Commission is asked to review the request and make a recommendation to the Village Board regarding the site plan review.



Allouez Village Hall • 1900 Libal Street Green Bay, WI 54301-2453 • (920) 448-2800 • Fax (920) 448-2850
www.villageofallouezwi.gov

Site: 3921 S. Webster Avenue (Parcel AL- AL-1724-4-1)
Development: Dollar General Development
Developer Representatives: Not provided
Application: Not provided
Review Fee: Not provided
Review Type: Site Plan & Design Review (existing structure not subject to review – site and addition only)

Site Plan & Design Review – Staff Comments

Zoning district		MX2 – Neighborhood Mixed-Use District		
Building use		Retail Sales (permitted)		
Building type		Storefront		
		Required	Provided	Notes
Height		Ground floor height between 14'-18'	13'	Staff can grant a design exception for up to one foot.
Lot	Area	Existing	N/A	
	Frontage	Existing	N/A	
	Impervious Surface	75% maximum	72.6% (33,382SF impervious)	Not updated
Setback/ Build-to	Front (build-to)	5'-20'	N/A	Existing non-conforming feature not made worse with addition.
	South Side (build-to)	0'-15'	15'	
	North Side (setback)	7.5'	30'	
	Rear (setback)	25' for lots abutting residential districts	15'	
	Occupancy	Occupancy in the first 20' of the building on street side (mechanical equipment and storage not permitted)	Standards not met	Staff can grant a design variance for up to 15% of the area for 20% of frontage.
Parking	Vehicle Size	Retail Sales – 1/400SF (26 stalls)	54 49	
		Varied	Standards met	
	Bicycle	Short-term – 1/5,000SF (3)	Not provided	A bicycle rack which accommodates a U-shaped lock and the ability to secure the bike frame and both wheels for staff use. Must be within 70' of building entrance. Also maintain the rack out of the pedestrian zone. See Section 475-804(C)(1) .
Access	Automobile	Existing	N/A	
	Pedestrian	ADA compliant sidewalks	Standards not met	Parked vehicles should not overhang so as to make the sidewalk less than 5' wide.

		Continuous sidewalk access needed from the street sidewalk to the entrance.		Ramp detail should be shown in construction documents.
Exterior Design	Building Material	Major material required for at least 65% of building face and minor material permitted for 35% of building face maximum; shadow line of at least 2" must be created between changes in material; metal roof only permitted to remain if existing roof is not being replaced; windows required for 55% of building face on street sides, between 2' and 8' up the building; expressed lintels above windows and door openings required; exterior doors should be glass or paneled doors for service doors.	Standards not met	Split faced brick only permitted as a minor material. See major and minor material list Section 475-901 See Section 475-1502 for explanation of measuring transparency. False windows are not permitted. Signs and shelves not permitted to block view into window.
	Building Articulation	Existing	N/A	
	Building Entrance	1 entrance required per every 60' of building frontage on street facing sides	Standards not met	
Lighting		Dark sky compliant, no light directed towards ROW, no more than 0.5FC at commercial property line and 0.2FC at residential property line; lights must be shut off at 10p.m. if business is closed; light color cannot be greater than 3,000 Kelvin	Standards not met	Please provide lighting plan.
Sign		N/A	N/A	Location should be identified, but design is reviewed at time of sign permit. Sign should be shut off at 10p.m. with lights. One wall sign allowed per business. Must meet all other sign requirements.
Fences/Screening		Existing	N/A	
Landscaping		1 Large shade tree per 50' of street frontage or 1 small tree per 30' for areas with overhead utilities – trees do not need to be evenly spaced, but cannot have a spacing greater than 75'; 1 large shade per every 10 parking stalls	Standards not met	Please provide landscape plan. 14 trees required: 415' of street frontage = 9 trees 49 parking stalls = 5 trees Credits for existing trees can be achieved. See Section 475-903(H)(4) . Parking lot tree requirements. See Section 475-903(F) . No more than 35% of the trees can be of the same species.
Mechanical Equipment		All mechanical equipment must be indoors or screened from street view; venting and duct work must meet standards.	Standards not met	Please show exterior duct work and venting detail on elevations.
Dumpster		Concrete pad extending outwards from enclosure;	Standards partially met	Existing dumpster location is being improved. Evergreen should be planted along the wall on the west side (Webster Avenue)

	enclosure material to match building façade with opaque gate; location should be on side or rear of the building.		
Loading	Loading spaces may not be located on a front façade; All off-street loading areas adjacent to R Zoning Districts must be completely screened from view by building walls, fences, plant material at least eight feet in height.	Standards not met	

**All other zoning requirements stipulated in Chapter 475 of Village Ordinances should be met to the highest degree possible.

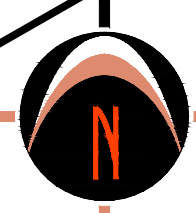
- Additional comments:
 - Location of construction access – shared drive shall remain accessible to neighboring property during construction.
 - Temporary construction parking shall be contained onsite to the greatest extent practicable. Parking and traffic on municipal streets and adjacent lots should be kept to a minimum and only with prior approval from the Village of Allouez.

Date Reviewed: March 30, 2023; **April 20, 2023** (changes made between submittals are noted in red)
Comments Submitted By: Trevor Fuller, Director of Planning and Community Development, Village of Allouez

PROPOSED NEW BUILDING ADDITION FOR:
Russell McConnell | Construction Manager
Legacy Commercial Property | 2701 W.
Lawrence Ave Ste A | Springfield, Illinois 62704
HIGHLAND VENTURES LTD
847.904.9107 www.LegacyPro.com
Russ.McConnell@Highlandventuresltd.com
PROJECT ADDRESS
3921 S Webster Ave, Green Bay, WI 54301

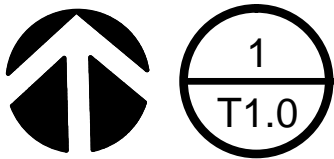
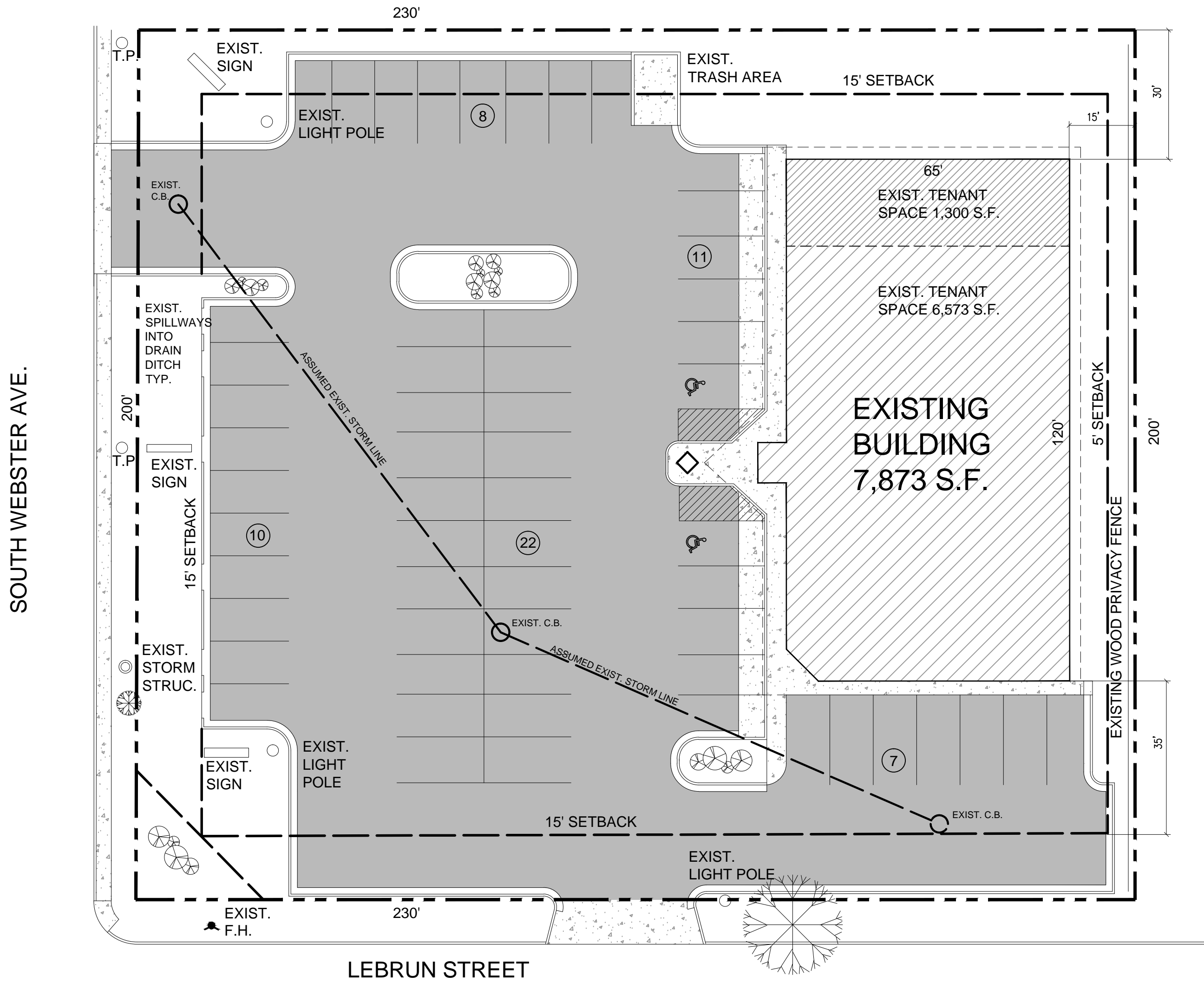


PROJECT LOCATION



LOCATION MAP

NOT TO SCALE



EXISTING SITE PLAN
SCALE: NO SCALE

BUILDING DATA
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE & BELIEF, THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE:
· 2015 IBC W/ AMENDMENTS
· 2015 INTERNATIONAL PLUMBING CODE
· 2015 INTERNATIONAL MECHANICAL CODE
· 2017 NATIONAL ELECTRICAL CODE
· FIRE CODE: 2015 IFC
· ACCESSIBILITY CODE: 2015 MBC & 2009 ANSI 117.1 AND 200
· ENERGY CODE: INTERNATIONAL
UNIFORM ENERGY CODE
2013 ASHRAE
TYPE OF CONSTRUCTION: TYPE -5B- UNPROTECTED
EXISTING BUILDING AREA:
Exist lease area = 1,300 s.f. + Existing F.V. = 6,535 SF. + 2,282 SF.=total 10,117 s.f.
PROPOSED NEW ADDITION: 2,282 SF. + 6,535 SF. = 8,817 SF.
USE GROUP: MERCANTILE, M
PARKING SPACES REQ'D. 10,117 SF/200 = 51
PARKING SPACES PROVIDED = 51
ZONED: MX2 - Neighborhood Mixed-Use
OCCUPANCY LOAD: SECTION 1004
D.G. BUILDING OCCUPANT LOAD:
Mercantile area = 7,714 s.f./60 = 129
Mercantile shipping area, Office, Mech. & Toilet = 1,103 s.f./300 = 4
TOTAL OCCUPANT LOAD = 133
Minimum number of exits required 2 - 3 provided
SECTION 1028.7 -
TRAVEL DISTANCE 200' MAX REQUIRED
APPROX. 125' MAX PROVIDED

LOCATE FIRE EXTINGUISHERS
AS DIRECTED AND APPROVED
BY FIRE MARSHALL

TITLE/SITE

T1.0 SITE LOCATION MAP, SHEET INDEX,
BUILDING DATA, EXIST. SITE PLAN,
EXIST. ZONING PLAN

CIVIL

C1.0 SITE PLAN, GRADING PLAN
L1.0 LANDSCAPE SITE PLAN

ARCHITECTURAL

D101 DEMOLITION FLOOR PLAN
A101 FLOOR PLAN
A201 EXTERIOR ELEVATIONS
A301 EXTERIOR WALL SECTIONS
A303 ROOM FINISH SCHEDULE, DOOR
SCHEDULE, REFLECTED CEILING PLAN
& DETAILS

STRUCTURAL

F101 FOUNDATION PLAN & DETAILS

S101 ROOF FRAMING PLAN, ROOF FRAMING
DEMOLITION PLAN, NOTES & DETAILS
S102 STRUCTURAL NOTES, DETAILS

MECHANICAL

M101 MECHANICAL PLAN

ELECTRICAL

E101 POWER PLAN
E102 ELECTRICAL SCHEDULES & SPECIFICATIONS



DOLLAR GENERAL

3921 S Webster Ave,
Green Bay, WI 54301

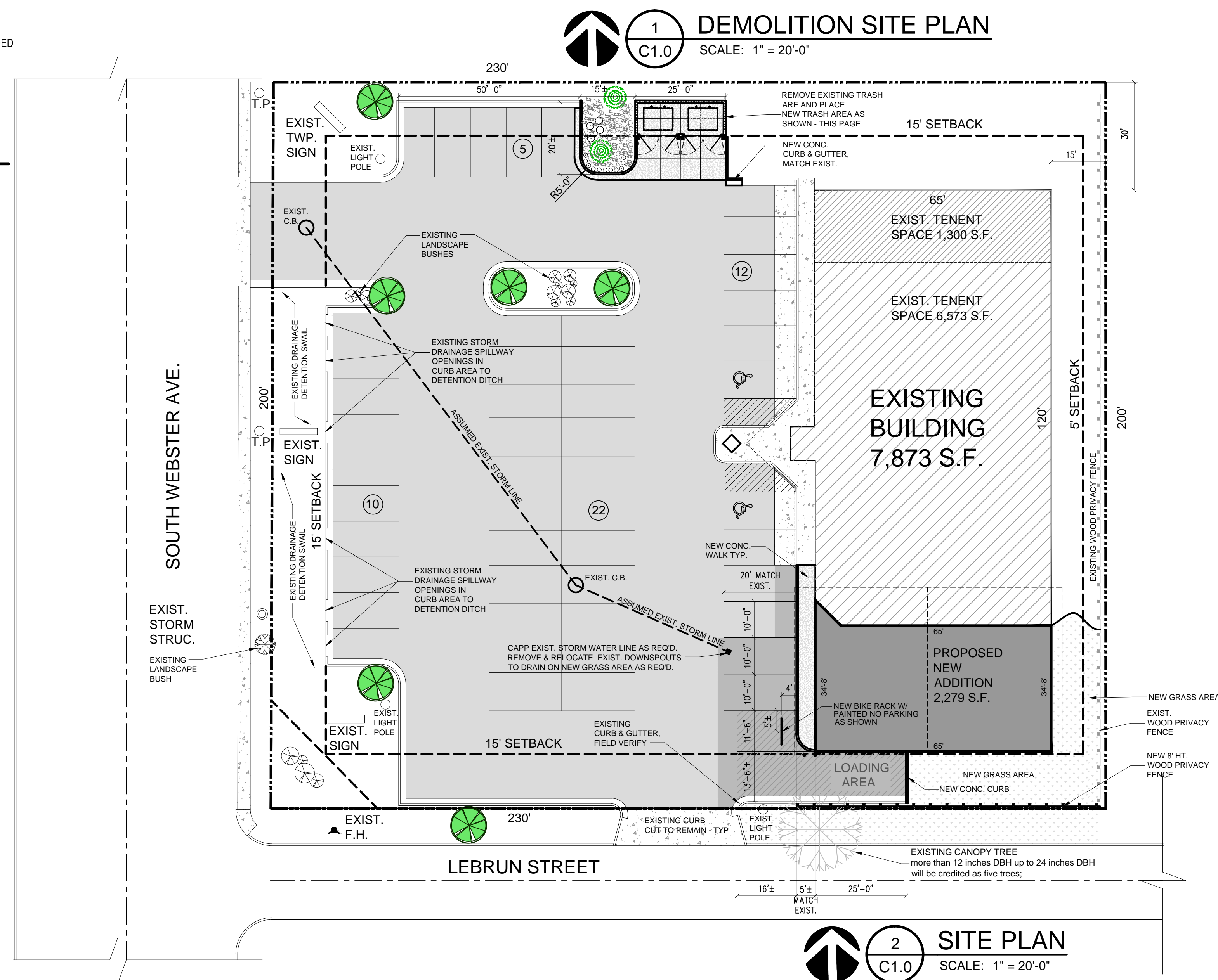
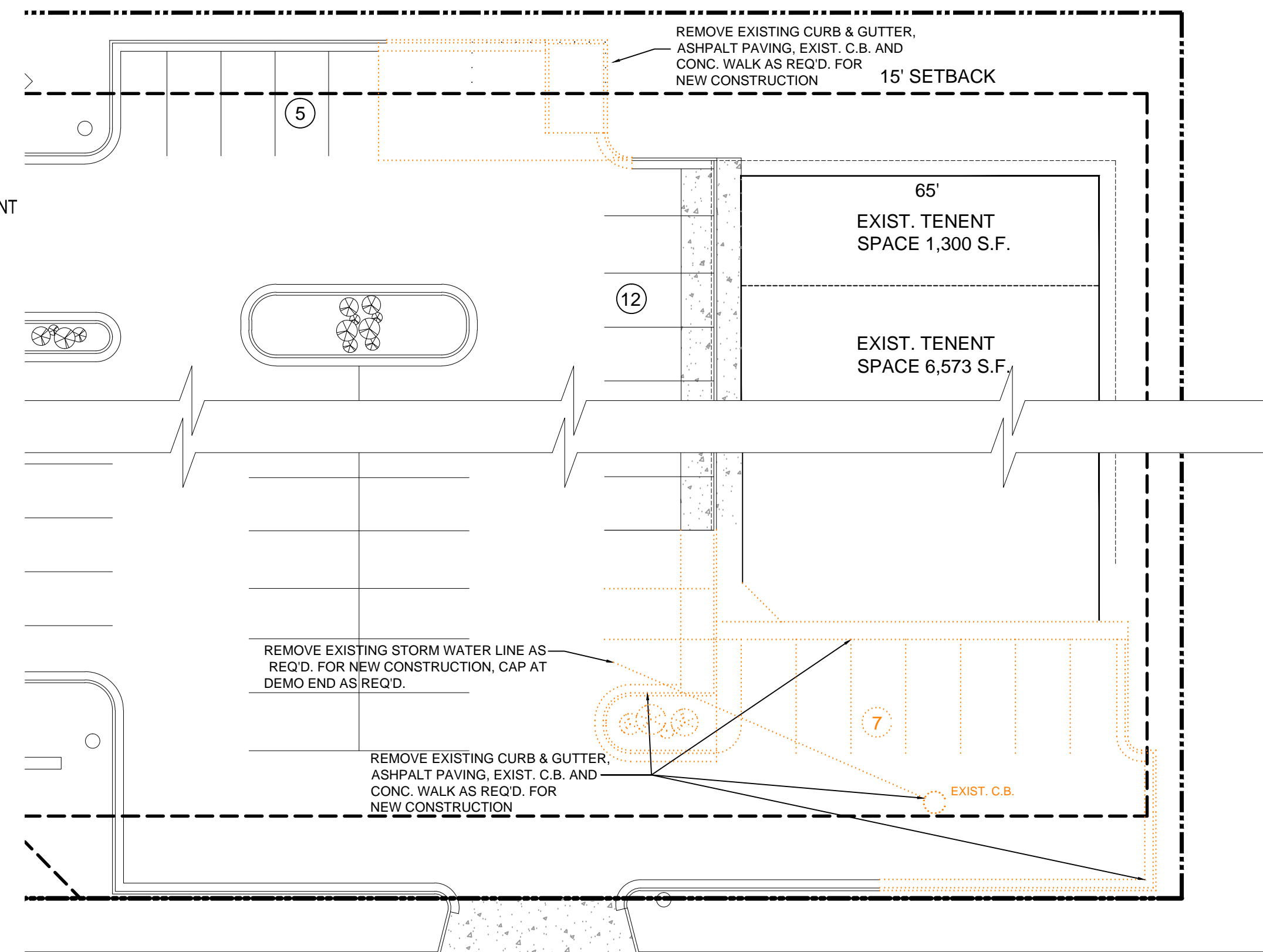
VARIANCE	04/17/2023
REV. #1	12/31/2022
PRICING/PERMIT	07/08/2022

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2022

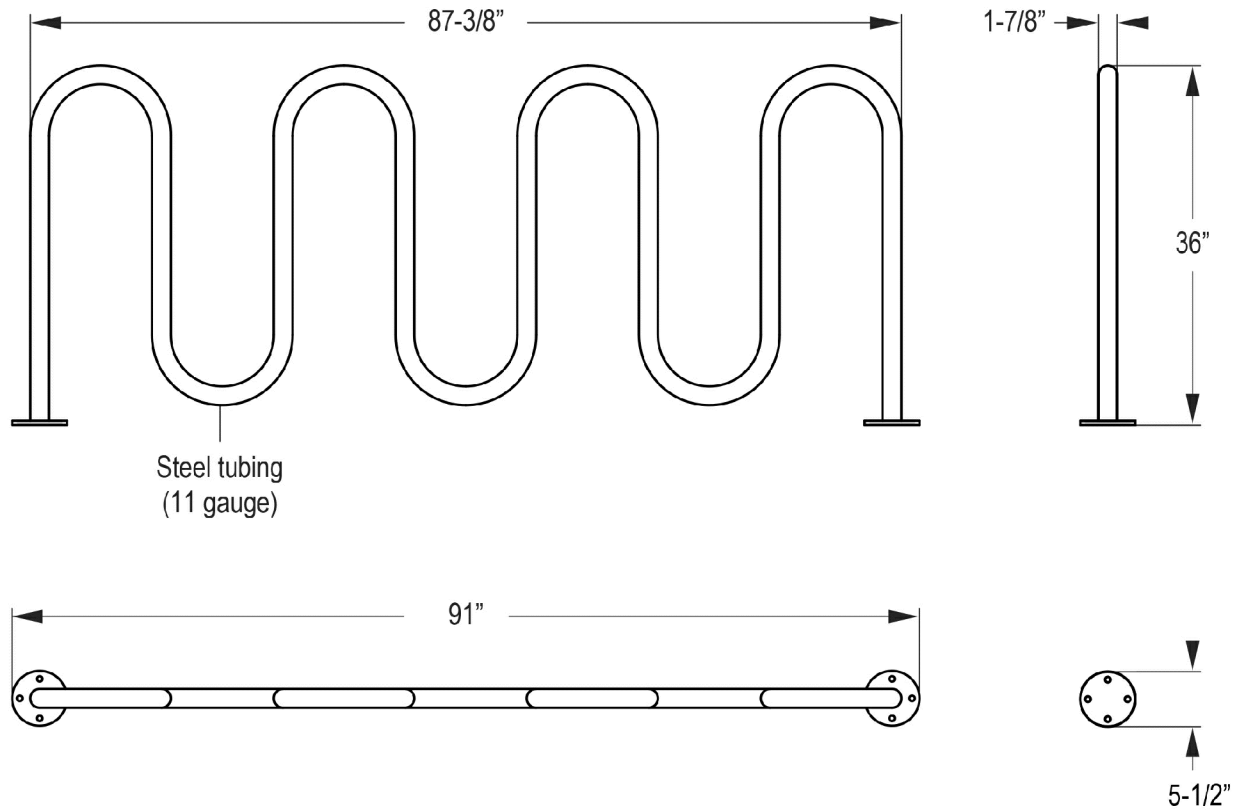


SEAL	
DRAWN BY	JVB
CHECKED BY	JVB
PROJECT NUMBER	2022008

T1.0



9 BIKE WAVE BIKE RACK, STAINLESS STEEL, SURFACE MOUNT

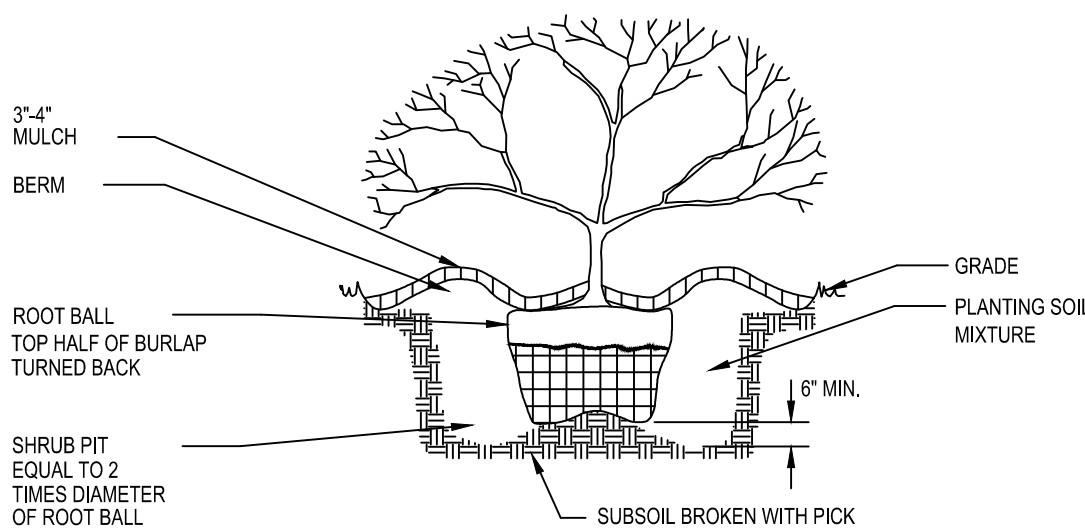


PLANT MATERIAL SCHEDULE

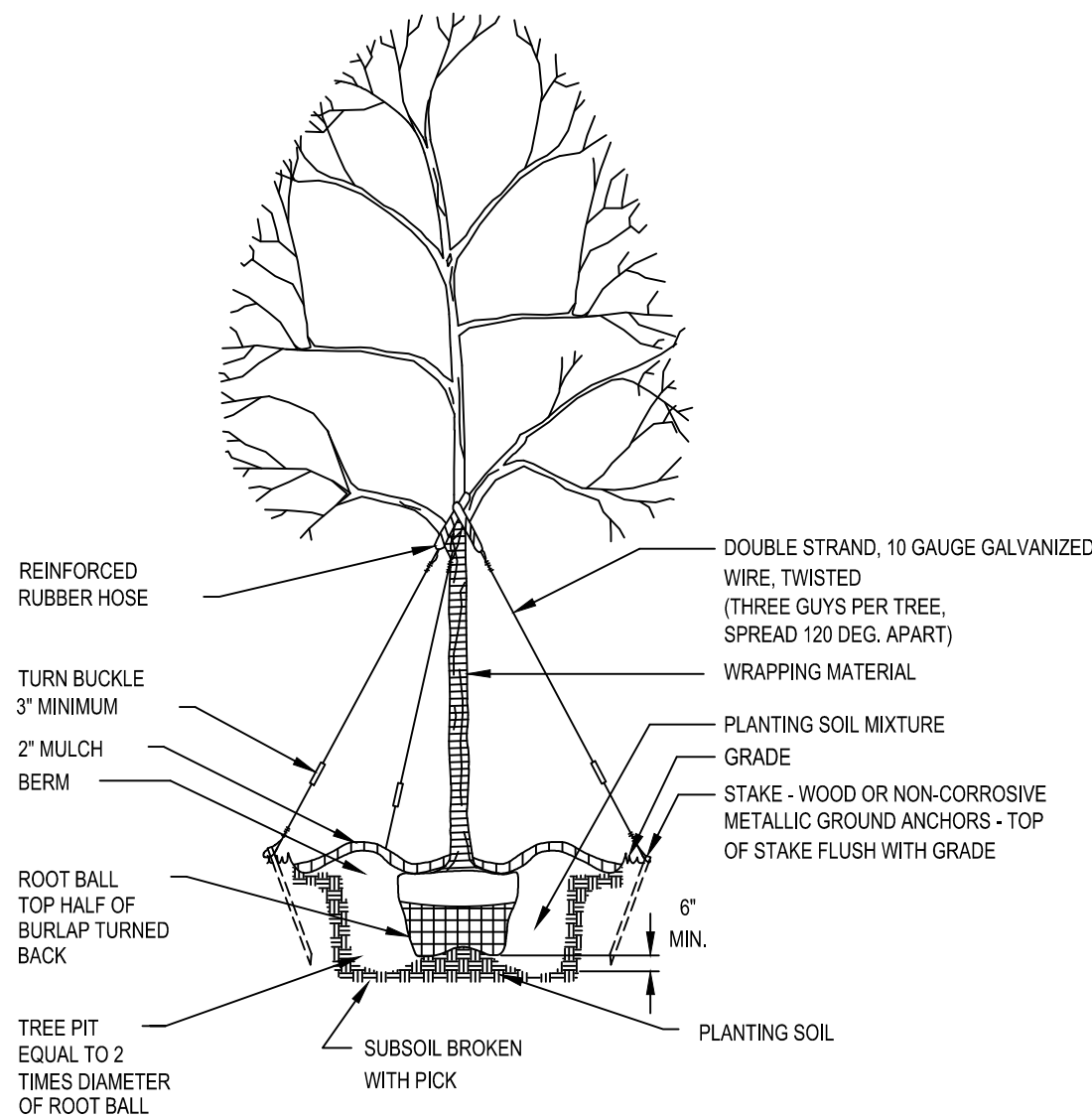
AMOUNT		COMMON NAME	LATIN NAME	SIZE
3	UNDERSTORY	FLOWERING CRAB(amer.spirit)	Amerspirzam Crab	2 1/2" Cal
3	UNDERSTORY	'Cherokee Princess' DOGWOOD	Cornus florida	2 1/2" Cal
2		TECHNY ARBARVITAE	Techny Arborvitae -Thuja occidentalis	2 1/2" Cal
4	SHRUB DEC.	JAPANESE SILVER GRASS	Little Fountain & Little Zebra	
				VARIES

NOTES:

1. 1'-0" DIA. MIN. BARK MULCH BED AROUND ALL PLANTINGS (TYP.)
2. HYDRO-SEED (ALL DISTURBED AREA): 30% ARCTIC KENTUCKY BLUEGRASS 30% ARCTIC KENTUCKY BLUEGRASS 20% THIRD GENERATION PERENNIAL RYEGRASS WITH CROOKNECK 20% IMPROVED VARIETY CREEPING RED FESCUE FERTILIZER: 15-30-15 STARTER WITH SULPHUR, IRON, MANGANESE, ZINC, QUICK RELEASE NITROGEN AND NO CHLORINE MULCH: 80% IRON WOOD FIBER W/ ORGANIC TACKIFIER APPLICATION RATE OF 1,250 POUNDS PER ACRE.

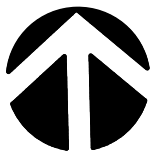
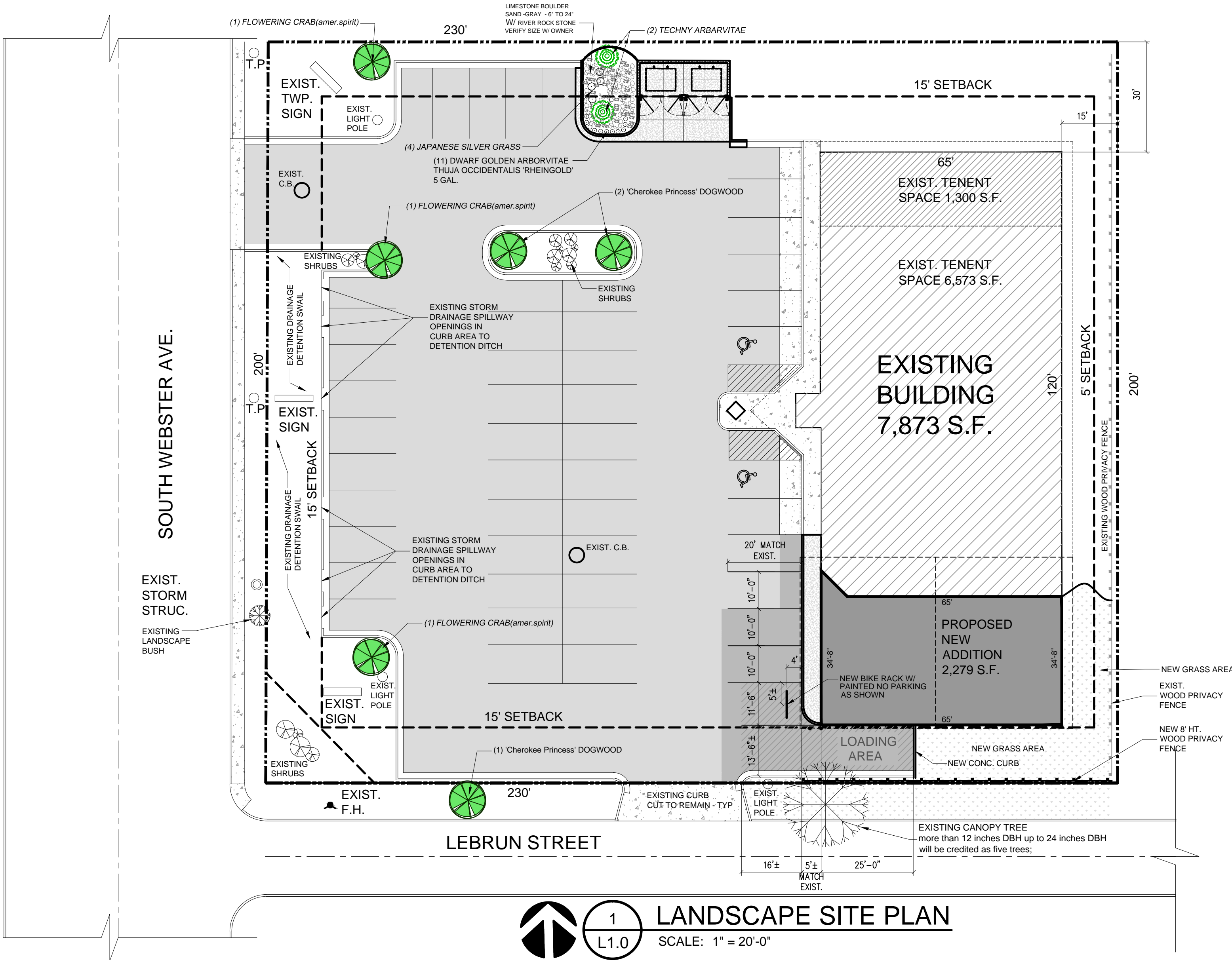


TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING AND GUYING DETAIL
NOT TO SCALE

FOR DECIDUOUS AND EVERGREEN TREES



1
L1.0

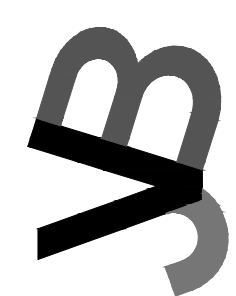
LANDSCAPE SITE PLAN

SCALE: 1" = 20'-0"



Retail Design Consultants, LLC
7580 48th Street, S.E.
Grand Rapids, MI, 49512
P. 616.634.2253
Glenn@r2c-llc.com

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES



2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524
EMAIL: JVBARCH@COMCAST.NET

DOLLAR GENERAL

3921 S Webster Ave,
Green Bay, WI 54301

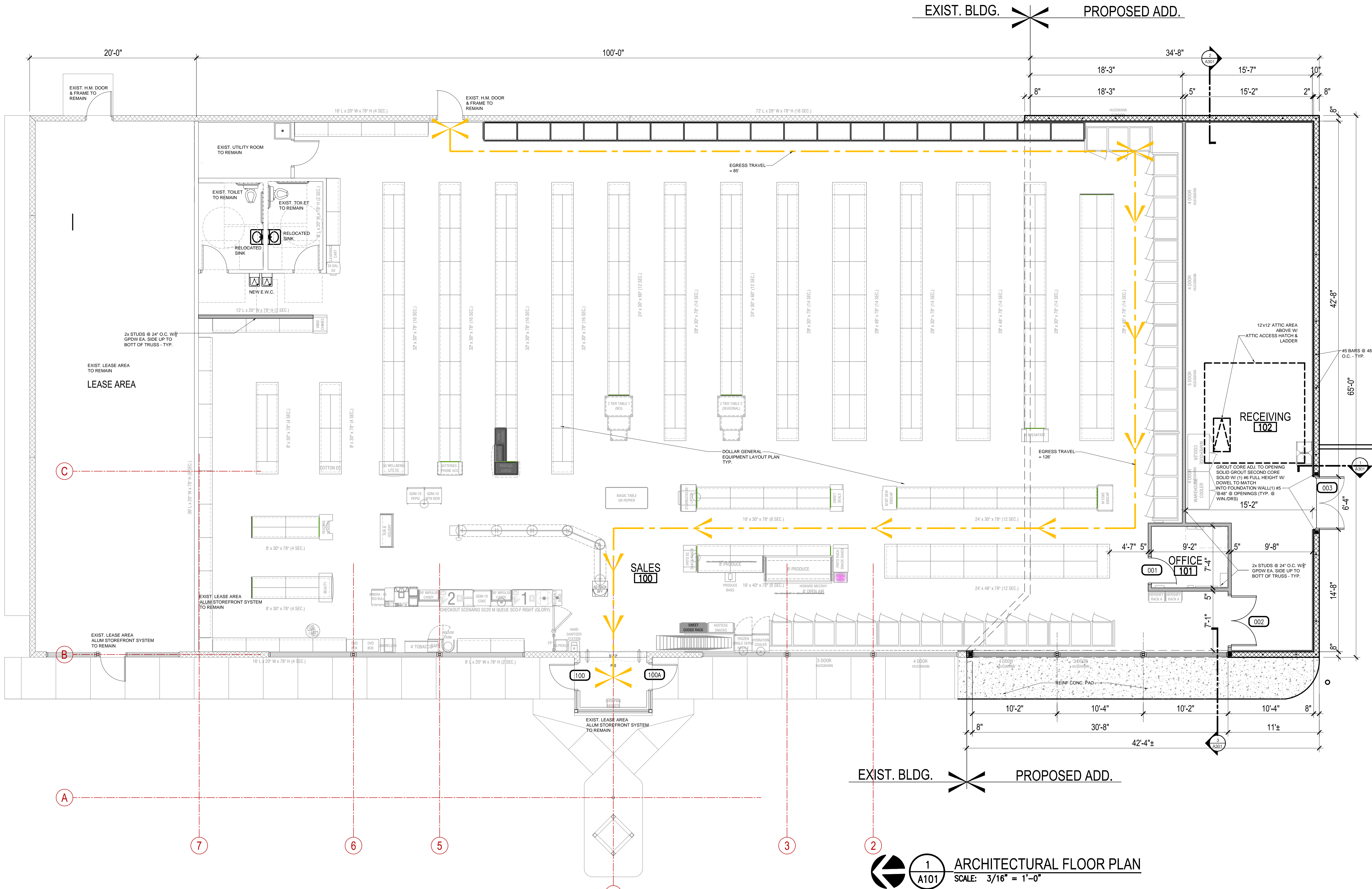
VARIANCE 04/17/2023
REV. #1 12/31/2022
PRICING/PERMIT 07/08/2022

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © JVB LLC 2022



SEAL
DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 2022008

L1.0



DOLLAR GENERAL

3921 S Webster Ave,
Green Bay, WI 54301

VARIANCE 04/17/2023
REV. #1 12/31/2022
PRICING/PERMIT 07/08/2022
This drawing is the sole property of JVB LLC and is a copyrighted document. It is not to be used or reproduced without their written consent. © Unpublished work 2022



SEAL
DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 2022008

A101

