

Memo

To: Village Board

From: Chris Clark, Director of Parks, Recreation, & Forestry

Re: Award Contract for the Fire Station Kitchen Remodel Project

Date: February 6, 2024

Background Information:

The Village Fire Station, which was constructed in 1972, is showing its age and periodically needs maintenance and updating. The Village is obligated per the contract to maintain and repair the building, grounds, and utilities. This facility is utilized 24/7/365 by the Green Bay Metro Fire Department, and with that gets more use than most any other commercial or residential property. The kitchen/dining area was proposed to be remodeled in 2023/24 to update the layout, cabinetry, HVAC, plumbing, as well as new appliances to accommodate the needs of the Fire Department personnel.

The Village hired Somerville Architects and Engineers to perform professional services including architectural design work and project management. The kitchen remodel project includes demolition of the existing kitchen and dining room area and a complete reconstruction of the kitchen walls, floor, ceiling, lighting, electrical, plumbing, HVAC, cabinetry, and countertops. In addition to the kitchen, the architect included an alternate bid item to include the replacement of flooring, ceiling, and lighting in the adjacent living room area. This was included in anticipation of obtaining better pricing for this work under one mobilization.

In early 2023, staff obtained an estimate for remodeling the kitchen space which was in the \$110,000 range. The kitchen remodel was bid out in December of 2023 with the thought of getting good pricing for indoor work during the winter from contractors. The project, if approved, is anticipated to begin in January and be completed by May 1st.

The Village received three bids for the project with IEI General Contractors with the low bid of \$227,300 base bid and \$19,400 for the alternate bid for a total of \$246,700.

Previous Information/Action:

January 16, 2024, Village Board Meeting - The Village Board moved to postpone action to the next meeting to gather more information on the project as well as future needs at the facility.

The appliances for the kitchen were budgeted for in the 2024 Fire Department General Fund in the amount of \$28,000 which is separate from this project.

Budget Item/Funding:

The Village bonded \$85,000 in the 2023 bonding for the Fire Station kitchen remodel. The low bidder for this project was IEI General Contractors in the amount of \$227,300 base bid and \$19,400 for the alternate bid for a total of \$246,700. Additionally, the professional service contract with Somerville is \$18,000. This equates to a total of \$264,700 for the project. **The balance needed to complete the base and alternate portions of the project, less the amount bonded (with interest earned) in 2023, is \$177,900.**

The Village's ARPA funded project list currently has a balance of \$1,195,793.50. Finance Department staff believes there are adequate funds within the ARPA funding to fund the Fire Department project. This will be accomplished by alternative funding of future water station improvements and other project surplus balances.

Staff Recommendation:

Staff recommendation is to award the base and alternate bids to IEI General Contractors in the amount of \$246,700 utilizing ARPA funding. The Architect does not believe there are any design changes or alternative materials that would result in significant cost savings. Additionally, re-bidding at a future date could result in increased material and labor costs.

Possible Motions:

Possible motions the Village Board can take on this item:

- Award the base project to IEI General Contractors in the amount of \$227,300 utilizing ARPA funding in the amount of \$158,500.
- Award the base project and alternate to IEI General Contractors in the amount of \$246,700 utilizing ARPA funding in the amount of \$177,900.
- Award either of the above projects to IEI General Contractors utilizing another funding source such as additional bonding in 2024 or a combination of the two.
- Reject all bids due to lack of funding and begin the process over.
- Other

Attachments:

- Bid tabulation
- Somerville architect recommendation
- ARPA projects listing
- Somerville correspondence regarding scope of work
- Project breakdown costs
- Project plansheet
- League of Wisconsin Municipalities legal recommendation regarding bidding changes
- Cost to construct a new fire station
- Future improvement needs at Fire Station #8
- Completed facility improvements at Fire Station #8

bid recording sheet

Fire Station Kitchen Remodel
Village of Allouez
Project No. 7799



CONTRACTORS	Bid Security	Addendum No. 1	Addendum No. 2	Addendum No. 3	Base Bid-Complete Construction	Alternate No.1: Recreation Room	Voluntary Alternate: None	Voluntary Alternate: None	Voluntary Alternate: None	GRAND TOTAL	CONTRACTORS
Immel	X	X	X	X	\$242,800	\$24,500				\$267,300	Immel
IEI	X	X	X	X	\$227,300	\$19,400				\$246,700	IEI
Zeise	X	X	X	X	\$243,100	\$18,100				\$261,200	Zeise
Estimate 12/28/23										\$0	Estimate 12/28/23

next steps: Supplementary Bid Form Review
Apparent Low Bid Vetting Discussion
Letter of Intent to Proceed
Owner and Contractor Contract
Board Meeting 1/16/24

notes:

design matters

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f. 920.437.1131
somervilleinc.com

Chris Clark

From: Collin Arndt <CArndt@somervilleinc.com>
Sent: Tuesday, January 2, 2024 10:40 AM
To: Chris Clark
Subject: 7799 - Village of Allouez - Fire Station Kitchen Remodel - GC Letter of Recommendation

Good Morning, Chris –

After a comprehensive review of the submitted bids; Somerville recommends moving forward with IEI as the General Contractor for the Village of Allouez Fire Station Kitchen Remodeling Project. This decision was not made solely from IEI being the low bidder. Somerville has a great working relationship with IEI and have completed several successful projects with them to date.

If the board decides to move forward with this Project, Somerville will draft the standard agreement between Owner and Contractor and notify IEI with the Owner's Intent to Proceed with the work.

Please don't hesitate to reach out with any questions.

Thank you,

Collin

collin arndt, AIA
architect
direct 920.593.3861 | carndt@somervilleinc.com

somerville ARCHITECTS | ENGINEERS
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ARPA PROJECTS LISTING

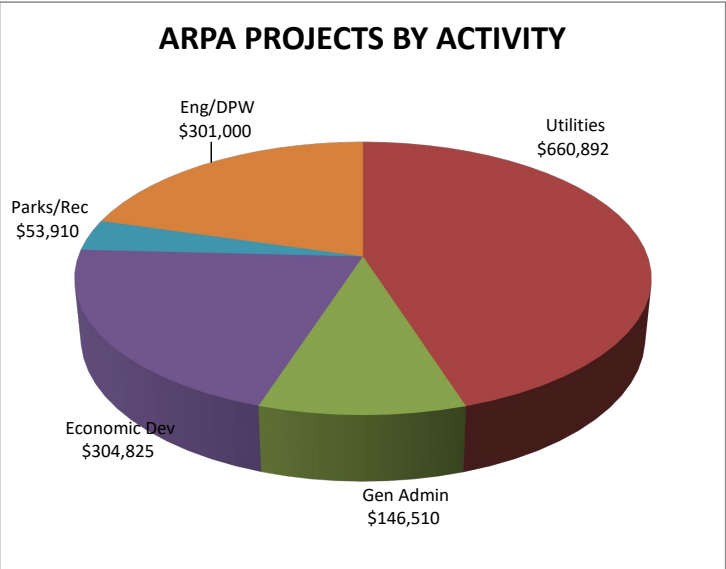
Obligated by 12/31/2024 and spent by 12/31/2026

		Approved	Spent thru 12/27/2023	Add'l Spend	Balance	Utilities	Gen Admin	Economic Dev	Parks/Rec	Eng/DPW
APPROVED ARPA FUNDED PROJECTS										
1	Webster Ave emergency sewer repair	\$ 25,283.00	\$ 25,283.00	\$ -	\$ -	25,283.00				
2	Webster Ave sanitary sewer televising	40,090.00	35,609.30	-	4,480.70	35,609.30				
3	Storm sewer sinkhole repairs	50,000.00	50,000.00	-	-	50,000.00				
4	Coffee Wizardz sign grant	4,825.00	4,825.00	-	-			4,825.00		
5	ADA website compliance	2,160.00	2,160.00	-	-		2,160.00			
6	GBCI consulting services	54,000.00	54,000.00	-	-		54,000.00			
7	Computer system upgrades	10,000.00	11,699.00	(1,699.00)	-		10,000.00			
8	Elections - poll place scanner & tabulator	11,150.00	11,150.00	-	-		11,150.00			
9	Office 365	25,880.00	15,927.03	9,952.97	-		25,880.00			
10	GIS mapping system upgrade	200,000.00	46,801.00	153,199.00	-					200,000.00
11	Village of Allouez 150th anniversary celebration	5,000.00	4,345.66	654.34	-		5,000.00			
12	Village website redesign	22,000.00	22,800.00	(800.00)			22,000.00			
13	Fuel island repair	58,000.00	2,400.00	55,600.00						58,000.00
14	Brenner Place Watermain Repair	150,000.00	2,306.34	147,693.66		150,000.00				
15	Salt Storage Shed Repair	43,000.00	3,282.75	39,717.25						43,000.00
16	Parks Surveillance Camera Project	53,910.00	47,282.70	6,627.30					53,910.00	
Total approved ARPA funded projects		755,298.00	339,871.78	410,945.52	4,480.70					
		-	-		755,298.00					

PROPOSED ARPA FUNDED PROJECTS										
	Office 365 (prepay 2025 and 2026 services)	16,320.00					16,320.00			
	Water - pump station improvements (lighting/fencing/roof)	100,000.00	(\$100K to \$175K & back down for main repair)			100,000.00				
	Storm water - offset operating costs to delay rate increase	300,000.00				300,000.00				
	Economic development - revolving loan fund/street repairs	300,000.00	2024 Budget - street repairs					300,000.00		
Total proposed ARPA funded projects		716,320.00								

TOTAL APPROVED AND PROPOSED ARPA FUNDED PROJECTS	1,471,618.00	Utilities	Gen Admin	Economic Dev	Parks/Rec	Eng/DPW	1,467,137.30
		660,892.30	146,510.00	304,825.00	53,910.00	301,000.00	

					Utilities	Gen Admin	Economic Dev	Parks/Rec	Eng/DPW
		Received	Spent	Cash - 12/27/23					
ARPA FUNDS RECEIVED	1,454,264.90	1,533,321.64	(339,871.78)						
INTEREST EARNED 2022	18,808.98			1,193,449.86					
INTEREST EARNED 2023 (thru Nov)	60,247.76			2,343.64	+	A/P on 12/27/23			
PROJECT FUNDS TO BE REALLOCATED	4,480.70			1,195,793.50				Bond cash (including interest) on 12/27/23	
FUNDS AVAILABLE	1,537,802.34								
				1,194,385.19				Orig bond cash balance per G/L on 12/27/23	
				1,408.31				Adjust for pooled cash balance on 12/27/23	
PROJECTED FUNDS REMAINING	66,184.34			1,195,793.50				OK to above bond cash balance on 12/27/23	



Chris Clark

From: Collin Arndt <CArndt@somervilleinc.com>
Sent: Thursday, January 18, 2024 7:34 AM
To: Chris Clark
Subject: 7799 - Village of Allouez Fire Station - Kitchen Remodel - Narrative of Work

Good Morning, Chris –

Please find short narratives below describing our scope of work from the perspective of each discipline. These narratives provide reasoning for why design decisions were made, whether they be code required or just good practice in our professional opinion.

Architectural:

The architectural scope includes reconfiguring the kitchen and dining room layout to allow for the most efficient circulation and meet current accessibility guidelines. The kitchen will receive new plastic laminate cabinets and countertops, tile backsplash above the countertops, wall paint, acoustic ceiling tile and grid, and epoxy flooring with vinyl base. In our professional opinion, we have provided a basic level of finishes, comparable to some of the more recent Green Bay Metro Fire Station kitchen remodels. Alternate included new paint, acoustic ceiling tile and grid, and carpet flooring in the adjacent recreation room.

Plumbing:

The plumbing scope includes a new two-compartment sink and a new bottle filler. Two-comp. sink with disposal is replacing existing. The bottle filler requires saw-cutting to existing wall clean-out to install the sanitary below slab. An option to lessen floor saw cutting would be to leave the bottle filler as self-contained and any drainage or overflow would need to be dumped manually. Water supply is being extended from existing. A hub drain is being planned for the ice machine drain. The floor clean-out was extended further out to hide under equipment and could be shortened but would fall in front of the ice machine and sink. A new floor cleanout is required by code to be not more than 75' from the next cleanout downstream which is in the toilet room.

HVAC:

The HVAC scope includes replacing existing ducted exhaust fan and ceiling grille above cooking range with a commercial Type I (grease) hood, having fire suppression system, ducted to a new upblast kitchen fan on roof to comply with Code for new cooking appliance and commercial cooking operations. To avoid more costly alterations to existing air handling system cooling coil, it's air-cooled compressor condensing unit and Variable Air Volume (VAV) device heating coils to provide capability for bringing in increased amount of outside air due to commercial kitchen exhaust system, while still satisfying building heating and air-conditioning, a ducted energy recovery ventilator was proposed to replace aging main Toilet exhaust system and remove Toilet exhaust system make-up air burden from existing air handling system. This allows the existing air handling system, without any alterations, to provide Code required make-up air for the kitchen exhaust system. Alternate included replacing ceiling supply diffusers where alternate ceilings are indicated to be replaced.

Electrical:

Electrical scope includes several new circuits that are code required for the additional equipment needs. New L.E.D. lighting and automated controls are incorporated to meet energy code compliance and requirements. Additional convenience receptacles placed as requested by Owner. Alternate included new L.E.D. lighting where alternate ceilings are indicated to be replaced.

Please let me know if you have any questions.

Collin

collin arndt, AIA
architect

FIRE STATION #8 KITCHEN REMODEL

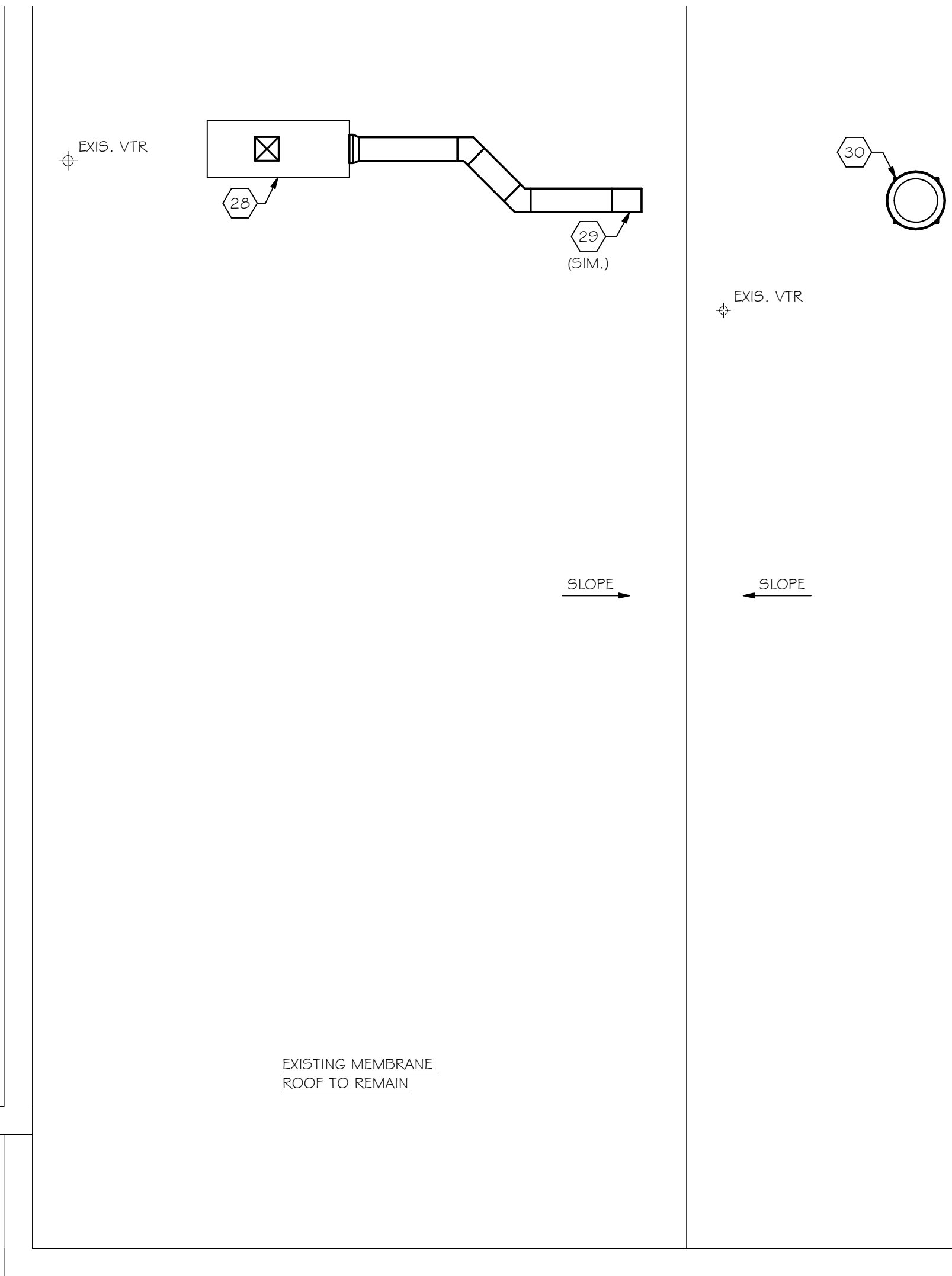
Category of Work		Approximate Cost	
Demo, Carpentry and Millwork	General Contractor	\$	56,000
Cabinetry/Casework	Subcontractor	\$	12,000
Metal Stud Framing	Subcontractor	\$	9,600
Gypsum Board Systems	Subcontractor	included in framing	
Tiling	Subcontractor	\$	2,700
Acoustical Ceilings	Subcontractor	\$	1,600
Resinous Flooring	Subcontractor	\$	6,000
Carpeting	Subcontractor	\$	700
Painting	Subcontractor	\$	1,300
Plumbing	Subcontractor	\$	11,300
HVAC	Subcontractor	\$	105,000
Temp. Controls	Subcontractor	included in HVAC	
Air Balancing & Handling	Subcontractor	included in HVAC	
Electrical	Subcontractor	\$	21,000
Approximate Cost for Base Bid		\$	227,200

FIRE STATION KITCHEN REMODEL: VILLAGE OF ALLOUEZ GREEN BAY, WISCONSIN

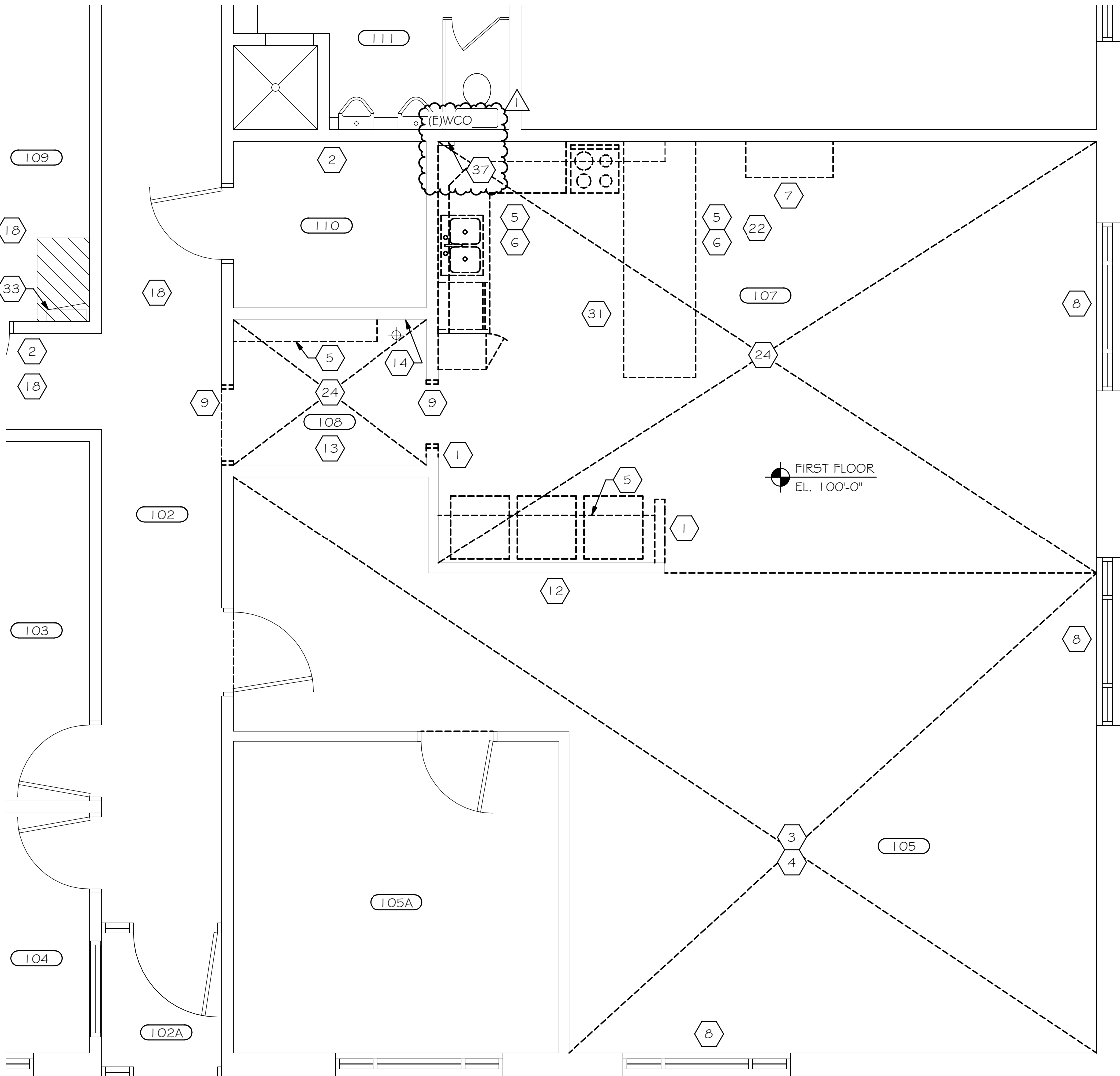
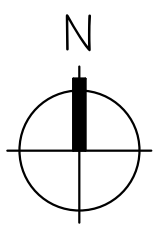


SYMBOLS	
	DIMENSION LINE TO WALL OR OTHER OBJECT
	DESIGNATES DETAILS
	DESIGNATES SHEET DETAIL OCCURS
	DESIGNATES PLAN NOTE
	INDICATES ELEVATION
	INDICATES WALL TYPE
	BARRIER FREE FACILITY

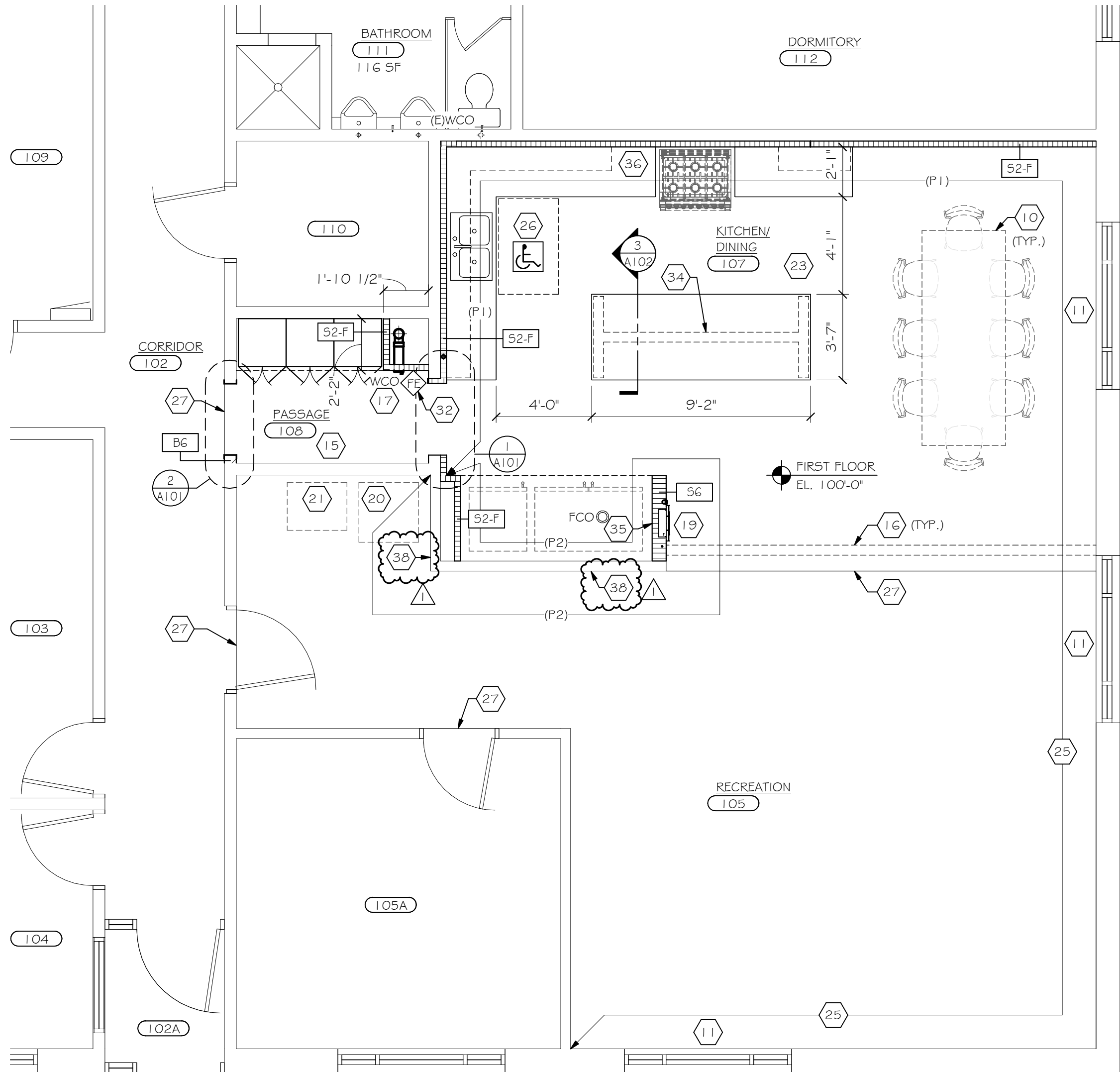
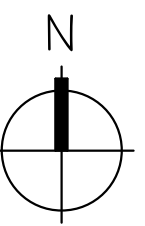
MATERIALS	
	CMU (CONCRETE MASONRY UNIT)
	STEEL
	STUD PARTITION
	WOOD (ROUGH/FINISH)
	PLYWOOD
	PARTICLE BOARD
	GYPSUM BOARD
	ACOUSTIC UNIT



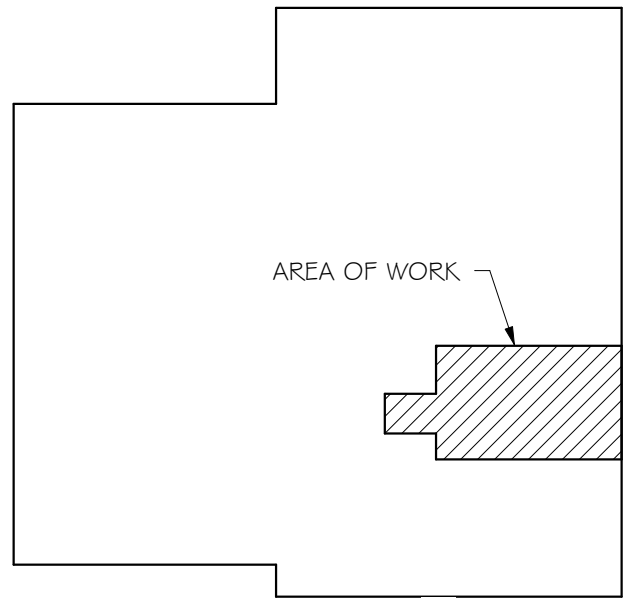
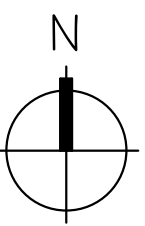
PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION -
PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



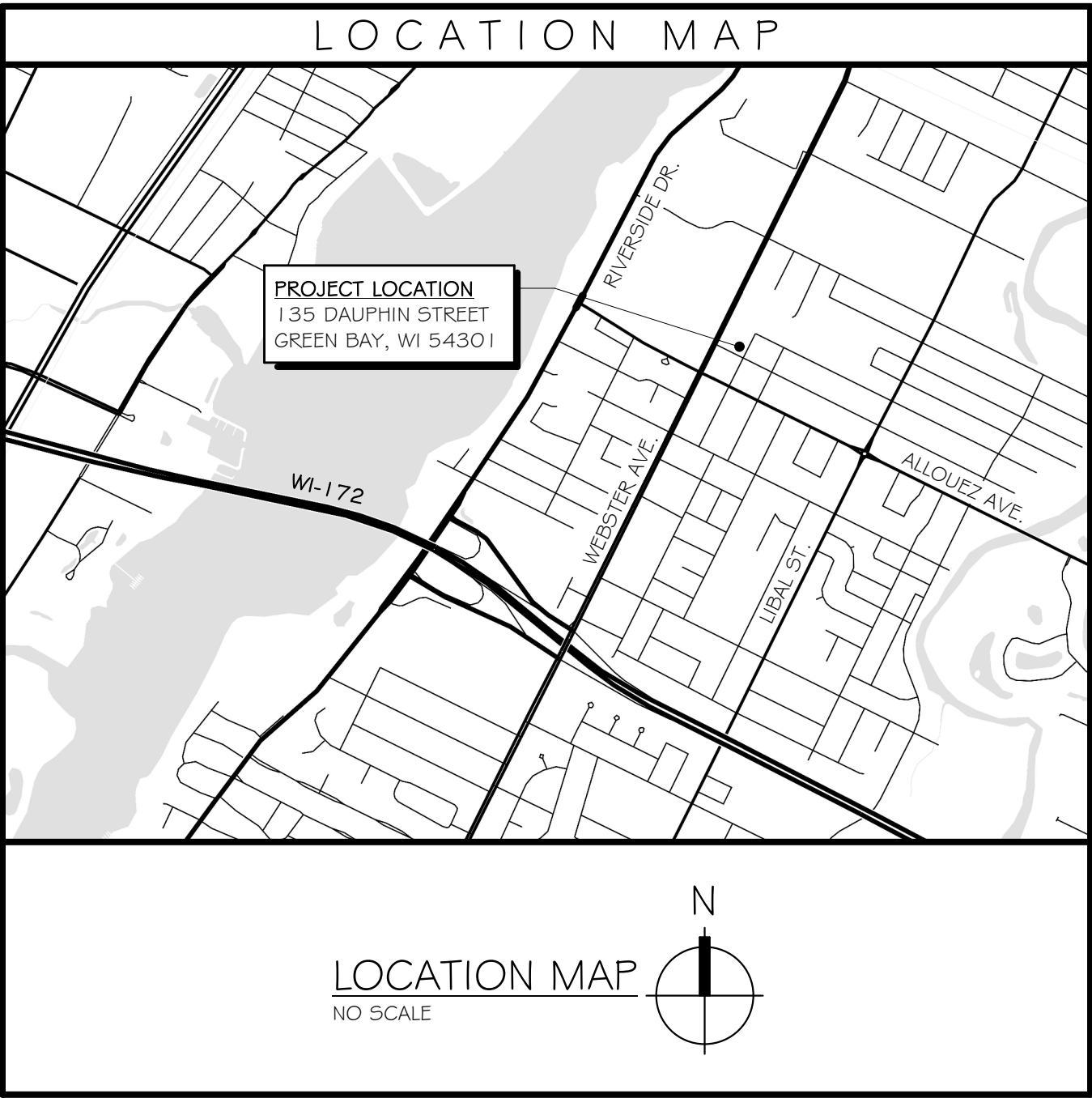
KEYPLAN



CODE REVIEW DATA	
APPLICABLE CODE	WISCONSIN COMMERCIAL BUILDING CODE (2015 EDITION) IEBC FOR LEVEL 2 ALTERATIONS (2015 EDITION)
OCCUPANCY	(B) BUSINESS, (S-2) STORAGE
CONSTRUCTION CLASSIFICATION	TYPE II-B
BUILDING AREA	FIRST FLOOR: 7,920 GSF (548 SF LEVEL 2 ALTERATION - 6.9% OF EXISTING)
BUILDING HEIGHT	1 STORY - 19'-0" TO COPING
FIRE SUPPRESSION SYSTEMS	NON-SPRINKLERED
ARCHITECTURAL	SHEETS A101 - A102
PLUMBING	SHEETS P101, P301
HVAC	SHEET H101, H701
ELECTRICAL	SHEET E101

NOTHING IN THESE DOCUMENTS SHALL IMPOSE LIABILITY ON THE ARCHITECT / ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR THE HANDLING, MANUFACTURE OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY.

CONTRACTOR SHALL IDENTIFY AND NOTIFY THE OWNER AND ARCHITECT OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL, SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE OWNER.



PARTITION TYPES:

METAL STUDS:

- LG - 5/8" LAMINATED GYPSUM BOARD
- 52-F - 5/8" GYPSUM BOARD
- 2 1/2" METAL STUDS AT 16" O.C.
- 5G - 5/8" GYPSUM BOARD
- 6" METAL STUDS AT 16" O.C.
- 5/8" GYPSUM BOARD
- BG - 6" CMU W/ HORIZ. R/F AT 16" O.C.

PARTITION GENERAL NOTES:

- CONSTRUCTION IS LISTED IN ORDER FROM SIDE OF WALL THAT TAG IS INDICATED.
- WALL TYPE SHALL BE CONTINUOUS UNTIL INTERSECTION OF WALL OF DIFFERENT TYPE.
- EXTEND WALLS TO UNDERSIDE OF STRUCTURAL DECK ABOVE UNLESS NOTED OTHERWISE.
- PROVIDE TILE BACKER BOARD AT WALL TILE LOCATIONS.

PARTITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE SITE CLEARED, PATCH ADJACENT FLOOR, WALLS AND CEILING AS REQUIRED
 - GYPSUM BOARD ON METAL STUDS AT 16" O.C.
 - CMU WALL W/ HORIZ. R/F AT 16" O.C.
- NOTE:
FOR BRACING TOP OF NON-LOAD BEARING WALLS, SEE 4/A102.

GENERAL NOTES:

- THE DEMOLITION SHOWN IS INTENDED AS A GUIDE. NOT ALL DEMOLITION IS SHOWN. WHERE NEW CONSTRUCTION IS SHOWN ON OTHER DOCUMENTS, DEMOLISH EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO FACILITATE SUCH NEW CONSTRUCTION.
- PATCH EXISTING FINISHES AS REQUIRED IN AREAS ADJACENT TO DEMOLITION.
- REMOVE EXISTING FINISHES WHERE NEW FINISHES ARE INDICATED. PATCH ADJACENT FINISHES AS REQUIRED IN AREAS BEING REMODELED.
- EXIT DOORS AND CORRIDORS TO REMAIN CLEAR OF ALL OBSTRUCTIONS AND ALLOW CODE AND OWNER REQUIRED EGRESS THROUGHOUT THE DURATION OF CONSTRUCTION.
- ANY MECHANICAL, ELECTRICAL, PLUMBING AND/OR FIRE PROTECTION SYSTEMS THAT NEED TO BE TEMPORARILY DISCONNECTED AND/OR RELOCATED TO ACCOMMODATE NEW WORK SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR. FIELD VERIFY EXISTING CONDITIONS, COORDINATE EXACT EXTENTS OF NEW WORK AND DETERMINE PROPER CONSTRUCTION SEQUENCING WITH OWNER AND ARCHITECT.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL NON-HAZARDOUS ITEMS PRIOR TO SITE CLEARING, INCLUDING BUT NOT LIMITED TO, SALVAGED COPPER AND OTHER VALUABLE CONSTRUCTION WASTE. ITEMS THE OWNER WISHES TO SALVAGE SHALL BE REMOVED AND DELIVERED TO A SITE FOR STORAGE AS DIRECTED BY OWNER.
- ALL FURNITURE AND EQUIPMENT TO BE REMOVED AND RELOCATED BY OWNER UNLESS OTHERWISE NOTED.

PLAN NOTES:

- SITE CLEAR PORTION OF WALL AS REQUIRED FOR NEW WORK.
- SITE CLEAR PORTION OF WALL ABOVE FOR NEW DUCTWORK - COORDINATE EXACT LOCATION WITH HVAC DRAWINGS.
- SITE CLEAR EXISTING FLOORING AND ADHESIVES. PREP SURFACE AS REQUIRED TO ACCEPT NEW FINISHES. (ALTERNATE BID)
- SITE CLEAR EXISTING CEILING TILE AND GRID. (ALTERNATE BID)
- SITE CLEAR EXISTING CASEWORK.
- SITE CLEAR EXISTING COUNTERTOP.
- SITE CLEAR EXISTING WALL MOUNTED SHELF AND RETURN TO OWNER.
- SITE CLEAR EXISTING CURTAINS AND ROD. PATCH HOLES WITH BLOCK FILLER AS REQUIRED FOR CONSISTENT FINISH.
- SITE CLEAR EXISTING HOLLOW METAL DOOR FRAME.
- DASHED LINES INDICATE FURNITURE/EQUIPMENT PROVIDED BY OWNER.
- CURTAINS AND ROD PROVIDED BY OWNER. COORDINATE MOUNTING HEIGHT WITH ARCHITECT/INTERIOR DESIGNER.
- SITE CLEAR EXISTING WOOD BASE AND CROWN MOULDING.
- SITE CLEAR EXISTING TACKABLE WALL PANELS.
- REMOVE EXISTING FIRE EXTINGUISHER ON HOOK - SALVAGE FOR REUSE.
- PROVIDE 48" x 96" TACKABLE WALL SURFACE. VERIFY COLOR WITH ARCHITECT/INTERIOR DESIGNER.
- DASHED LINES INDICATE SOFFIT ABOVE - SEE REFLECTED CEILING SHEET A102.
- WALL CLEANOUT (WCO) COVER PLATE.
- TEMPORARILY REMOVE EXISTING CEILING TILES AS REQUIRED FOR ABOVE CEILING HVAC WORK.
- RECESSED FILTERED WATER DISPENSER - SEE PLUMBING DRAWINGS.
- RELOCATED EXISTING BEVERAGE REFRIGERATOR.
- RELOCATED EXISTING POPCORN MACHINE.
- SAWCUT PORTION OF EXISTING CONCRETE AS REQUIRED FOR NEW ELECTRICAL WORK - SEE ELECTRICAL DRAWINGS.
- REPLACE CONCRETE SLAB-ON-GRADE WHERE REMOVED FOR MEP WORK - SLAB SHALL MATCH EXISTING THICKNESS AND INCLUDE 6 x 6 x W2.1 WWF, CENTERED IN SLAB. SPECIFIED VAPOR RETARDER DIRECTLY UNDER THE SLAB LAPPED 6" AND TAPED TO ADJACENT VAPOR RETARDER. DRILL AND EPOXY #3 x 1'-4" LG. DOWELS AT 18" O.C. AROUND PERIMETER, EMBED 6" (MIN.) INTO EXISTING SLAB AT MID-DEPTH. EXTEND ANY EXISTING SAWCUTS THRU THE CONCRETE SLAB OR PATCH.
- SITE CLEAR EXISTING CEILING TILE AND GRID.
- PAINT (P1) AS PART OF BASE BID.
- DASHED LINES INDICATE ADA COMPLIANT PARALLEL APPROACH CLEARANCES AT SINK.
- FLOORING TRANSITION - SEE ROOM FINISH SCHEDULE.
- MECHANICAL EQUIPMENT PROVIDED BY HVAC CONTRACTOR. PROVIDE ROOF CURB - SEE 3/A101.
- NEW DUCTWORK TO DROP THROUGH EXISTING ROOF OPENING. PROVIDE ROOF CURB - SEE 3/A101.
- KITCHEN EXHAUST FAN PROVIDED BY HVAC CONTRACTOR. PROVIDE ROOF CURB - SEE 3/A101.
- SAWCUT PORTION OF EXISTING CONCRETE AS REQUIRED FOR NEW PLUMBING WORK - SEE PLUMBING DRAWINGS.
- RELOCATED FIRE EXTINGUISHER.
- EXISTING ELECTRICAL PANEL.
- DASHED LINE INDICATES APPROXIMATE EXTENTS OF WALL BELOW.
- ACCESS PANEL - COORDINATE WITH PLUMBING DRAWINGS.
- MODIFY BACK OF CASEWORK AS REQUIRED TO EXTEND GAS PIPING TO NEW RANGE LOCATION.
- SITE CLEAR PORTION OF EXISTING WALL AS REQUIRED FOR NEW PLUMBING WORK - SEE PLUMBING DRAWINGS.
- PROVIDE SMOOTH SKIN COAT PLASTER FINISH ENTIRE WALL.

Contracts FAQ 14

May a municipality negotiate on the basis of changed plans with the low bidder?

This question usually arises when all bids received on a particular project are much higher than the municipality estimated the project would cost. In such situations, League attorneys are frequently asked whether the municipality can alter its plans and specifications and negotiate for a reduced price with the low bidder. We have consistently opined that the competitive bidding process prohibits a municipality from negotiating with either the lowest or low bidders on the basis of materially-altered plans and specifications. Contracts # 202, # 306 and # 339. If plans and specifications are to be changed, that change must affect all bidders and place each on an equal footing. A municipality should rebid a proposed public construction project when it proposes to substantially alter the plans and specifications by decreasing the work. A municipality may change the plans or specifications before receiving any bids by issuing an addendum to all potential bidders informing them of the modification.

How Much Does it Cost to Build a Fire Station?

While every facility is unique, here are a few examples of fire stations recently built or under construction in the state of Wisconsin. The primary source of information for each station can be found by clicking on the link under the "Status" column.

Municipality	Population	Land Square Miles	Approximate Building Sq/Ft.	Status	Approximate Construction Cost
Madison (Station #14)	258,054	78.9	20,000	Opened Feb. 2019	\$6.3M
Kenosha	100,164	27.9	24,000	Under Construction	\$6.61M
Eau Claire	65,883	32.6	18,000	Opened July 2018	\$4.99M
Wausau	39,114	18.8	15,420	Under Construction	\$5M
Superior	27,244	36.9	20,000	Under Construction	\$5M
Chippewa Falls	13,661	11.3	20,000	Opened March 2017	\$5M
Suamico	13,012	36.4	22,718	Completed March 2021	\$5M
Greenville	10,309	35.8	22,000	Completed April 2020	\$6.2M
Minocqua	4,388	150.8	14,536	Completed Nov. 2017	\$3.15M
Hobart	10,351	33.1	18,750	Completed Nov. 2023	\$5.1M

[illegible]

FACILITY IMPROVEMENTS

FIRE STATION #8

IMPROVEMENT ITEM	MANUFACTURER	BRAND / MODEL	SUPPLIER	CONTRACTOR	EST. COST	YEAR
Village Funded						
HVAC - Automated Logic Control System	Automated Logic			Automated Logic	\$ 12,800	2012
Unisex Restroom				Hoffman Construction GC	\$ 12,200	2012
Clothes Washer	Continental	G-Flex - RMIG 040	Belson Co.	Belson Co.	\$ 7,239	2014
Clothes Dryer	Unimac	Fireman Gear Dryer	Belson Co.	Belson Co.	\$ 6,714	2016
Gear Lockers			Fire Apparatus & Equipment	Village of Allouez	\$ 5,346	2016
Hot Water Heater	Ready Rack	50 gallon tank	Sinclair Plumbing	Sinclair Plumbing	\$ 835	2016
Hot Water Heater	Navian	Tankless	Sinclair Plumbing	Sinclair Plumbing	\$ 3,800	2017
Sink / Faucet in Half Bath			Sinclair Plumbing	Sinclair Plumbing	included w/ water heater	2017
Dishwasher (residential)	Amana	ADB1400AGW	Menards	Village of Allouez	\$ 299	2019
Fiber Optics				Multimedia Comm Enterprise	\$ 27,715	2019
LED Lighting	Sylvania	LED17T8 bulbs	Viking Electric	Village of Allouez	\$ 403	2019
Garage Door Openers	Overhead Door	RSX Trolley	Overhead Door	Overhead Door of Appleton	\$ 5,689	2022
Dishwasher (residential)			Menards	Village of Allouez	\$ 448	2023
					\$ 83,488	
GBMFD Funded						
Plymovent Exhaust System					\$ 40,500	2021
Station Alerting System					\$ 50,000	2023
					\$ 90,500	